



**AGENDA
MEETINGS OF THE PLANNING COMMISSION**

**WEDNESDAY, FEBRUARY 18, 2026
AT 6:00 P.M.**

**CITY HALL COUNCIL CHAMBERS
11710 TELEGRAPH ROAD
SANTA FE SPRINGS, CA 90670**

PLANNING COMMISSION

Gabriel Jimenez, Chairperson
David Ayala, Vice Chairperson
Joseph Flores, Commissioner
Isabel Cervantes, Commissioner
Jay Sarno, Commissioner

DIRECTOR OF COMMUNITY DEVELOPMENT

Cuong Nguyen

ASSISTANT CITY ATTORNEY

Susie Altamirano

CITY STAFF

Assistant Director
Economic Development Specialist
Associate Planner
Assistant Planner
Planning Consultant
Planning Consultant
Administrative Intern
Administrative Intern
Planning Commission Secretary

Vince Velasco
Claudia Jimenez
Alejandro De Loera
Cynthia Alvarez
Laurel Reimer
Kaden Likins
Jasmine Reyes
Pieter Wielenga
Esmeralda Elise

NOTICES

This Planning Commission Meeting (“Planning”) will be held in person and will meet at City Hall – City Council Chambers, 11710 E. Telegraph Road, Santa Fe Springs, California. The meeting will be live streamed on the City’s YouTube Channel and can be accessed on the City’s website via the following link:

https://www.santafesprings.gov/city_council/city_council_commissions__committees/planning_commission/index.php

Americans with Disabilities Act: In compliance with the ADA, if you need special assistance to participate in a city meeting or other services offered by this City, please contact the Planning Commission Secretary’s Office. Notification of at least 48 hours prior to the meeting or time when services are needed will assist the City staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting or service.

SB 1439: Effective January 1, 2025 Planning Commission Members are subject to SB 1439 and cannot participate in certain decisions for a year after accepting campaign contributions of more than \$500 from an interested person. The Planning Commission would need to disclose the donation and abstain from voting.

Public Comments: The public is encouraged to address Planning Commission on any matter listed on the agenda or on any other matter within its jurisdiction. If you wish to address the Planning Commission on the day of the meeting, please fill out a speaker card provided at the door and submit it to the Planning Commission Secretary. You may also submit comments in writing by sending them to the Planning Commission Secretary at esmeraldaelise@santafesprings.gov. All written comments received by 12:00 p.m. the day of the Planning Commission Meeting will be distributed to the Planning Commission and made a part of the official record of the meeting. Written comments will not be read at the meeting, only the name of the person submitting the comment will be announced. Pursuant to provisions of the Brown Act, no action may be taken on a matter unless it is listed on the agenda, or unless certain emergency or special circumstances exist. The Planning Commission may direct staff to investigate and/or schedule certain matters for consideration at a future Planning Commission meeting.

Please Note: Staff reports and supplemental attachments are available for inspection at the office of the Planning Commission Secretary in City Hall during regular business hours 7:30 a.m. – 5:30 p.m., Monday – Thursday. Telephone: (562) 868-0511.

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

EX PARTE COMMUNICATIONS

PUBLIC COMMENTS ON NON-AGENDA, & NON-PUBLIC HEARING AGENDA ITEMS

At this time, the general public may address the Planning Commission on both non-agenda and non-public hearing agenda items. Please be aware that the maximum time allotted for members of the public to speak shall not exceed three (3) minutes per speaker. State Law prohibits the Planning Commission from taking action or entertaining extended discussion on a topic not listed on the agenda. Please show courtesy to others and direct all of your comments to the Planning Commission.

CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine. Any items a Planning Commissioner wishes to discuss should be designated at this time. All other items may be approved in a single motion. Such approval will also waive the reading of any ordinance.

1. MINUTES OF THE JANUARY 26, 2026 REGULAR MEETING

RECOMMENDATION: That the Planning Commission:

- 1) Approve the minutes as submitted.

2. COMPLIANCE REVIEW OF CONDITIONAL USE PERMIT (“CUP”) CASE NO. 764-1 TO CONTINUE OPERATION AND MAINTENANCE OF AN EXISTING WIRELESS TELECOMMUNICATION FACILITY ON A 142-FOOT-HIGH SOUTHERN CALIFORNIA EDISON (SCE) TRANSMISSION TOWER LOCATED AT 11213 TELEGRAPH ROAD (APN: 8006-032-800), WITHIN THE PF, PUBLIC USE FACILITIES, ZONE

RECOMMENDATION: That the Planning Commission:

- 1) Find and determine that the continued operation and maintenance of an existing wireless telecommunication facility on the Project Site, if conducted in strict compliance with the conditions of approval, will not be detrimental to persons or properties in the surrounding area or to the City in general, and will conform with the overall purpose and objectives of the Zoning Code and consistent with the goals, policies and programs of the City’s General Plan.
- 2) Require that Conditional Use Permit (CUP) Case No. 764-1 be subject to a compliance review in ten (10) years, on or before February 18, 2036, to ensure that the use remains in strict compliance with the conditions of approval as contained within this staff report.
- 3) Take such additional, related action that may be desirable.

3. DEVELOPMENT PLAN APPROVAL (“DPA”) CASE NO. 1002 – A TIME EXTENSION REQUEST TO ALLOW THE CONSTRUCTION OF A NEW 104,900 SQ. FT. CONCRETE TILT-UP INDUSTRIAL BUILDING AND RELATED IMPROVEMENTS ON PROPERTY LOCATED AT 13711 FREEWAY DRIVE, WITHIN THE M-2-FOZ, HEAVY MANUFACTURING – FREEWAY OVERLAY, ZONE

RECOMMENDATION: That the Planning Commission:

1) Approve a two (2) year time extension for DPA Case No. 1002 (until February 18, 2028), subject to the conditions of approval (Attachment C); and

2) Take such additional, related actions that may be desirable.

4. DEVELOPMENT PLAN APPROVAL (“DPA”) CASE NO. 1013 – A TIME EXTENSION REQUEST TO CONSTRUCT EIGHT (8) NEW 53’ TALL METAL TANKS FOR THE STORAGE OF LIQUID ARGON AND MODIFICATION PERMIT (“MOD”) CASE NO. 1366 TO ALLOW PARTIAL SCREENING OF THE PROPOSED TANKS AT 8832 DICE ROAD, WITHIN THE M-2, HEAVY MANUFACTURING, ZONE

RECOMMENDATION: That the Planning Commission:

1) Approve a one (1) year time extension for DPA Case No. 1013 (until March 10, 2027), subject to the conditions of approval (Attachment C); and

2) Take such additional, related actions that may be desirable.

PUBLIC HEARING

5. DEVELOPMENT PLAN APPROVAL (“DPA”) CASE NO. 1017 FOR EXTERIOR IMPROVEMENTS INCLUDING ONE (1) NEW 24’-TALL COOLING TOWER, THREE (3) NEW WASTE WATER STORAGE TANKS WITHIN A NEW 26’-8”-TALL METAL CANOPY STRUCTURE, TWO (2) NEW 31’-2”-TALL AND FOUR (4) NEW 19’-5”-TALL METAL TANKS FOR THE STORAGE OF MILK, ONE (1) NEW GLYCOL SYSTEM WITH ONE (1) NEW 12’-2”-TALL TANK, ONE (1) NEW 14’-TALL AMMONIA DIFFUSION TANK, ONE (1) NEW STORAGE TANK ALCOVE STRUCTURE, ONE (1) NEW METAL CANOPY EXTENSION OVER TANKERS, NEW REFRIGERATION EQUIPMENT AND FOUNDATIONAL FOOTINGS FOR THREE (3) FUTURE 20,000 GALLON TANKS UNDER A SEPARATE PERMIT; MODIFICATION PERMIT (“MOD”) CASE NO. 1375 TO ALLOW PARTIAL SCREENING OF THE PROPOSED TANKS AT 12809 BUSCH PLACE; AND DETERMINATION OF CEQA EXEMPTION

RECOMMENDATION: That the Planning Commission:

1) Open the Public Hearing, receive the written and oral reports, and take any public comments regarding Development Plan Approval (“DPA”) Case No. 1017 and Modification Permit (“MOD”) Case No. 1375, and thereafter, close the Public Hearing; and

2) Find and determine that pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures) and Section 15311, Class 11 (Accessory Structures) of the California Environmental Quality Act (“CEQA”), the project is Categorically Exempt; and

- 3) Approve DPA Case No. 1017 and MOD Permit Case No. 1375, subject to the conditions of approval as contained within Resolution No. 313-2026; and
- 4) Adopt Resolution No. 313-2026, which incorporates the Planning Commission's findings and actions regarding this matter; and
- 5) Take such additional, related actions that may be desirable.

6. TO CONSIDER A PROPOSED ZONING CODE AMENDMENT TO AMEND SECTIONS 155.123 (CONDITIONAL USES), 155.153 (CONDITIONAL USES), 155.175.2 (USES), 155.183 (CONDITIONAL USES), 155.213 (CONDITIONAL USES), 155.243 (CONDITIONAL USES), AND ADD SECTION 155.725 (CONDITIONAL USE PERMIT FOR TRUCK, TRAILER, CHASSIS OR CONTAINER STORAGE) WITHIN TITLE 15, CHAPTER 155, OF THE SANTA FE SPRINGS MUNICIPAL CODE AND DETERMINATION THAT THE PROJECT IS EXEMPT FROM CEQA

RECOMMENDATION: That the Planning Commission:

- 1) Open the Public Hearing and receive the written and oral staff report and any comments from the public regarding the proposed Zoning Code Amendment; and
- 2) Find and determine that this Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3); and
- 3) Find and determine that the proposed Zoning Code Amendment is consistent with the goals, policies, and programs of the City's General Plan; and
- 4) Adopt Resolution No. 314-2026, incorporating the Planning Commission's findings and actions regarding this matter and recommending that the City Council approve and adopt an ordinance to effectuate the proposed amendments to the text of the City's Zoning Code; and
- 5) Take such additional, related action that may be desirable.

PRESENTATIONS

7. ZONING CODE EDUCATION SERIES: USES

RECOMMENDATION: That the Planning Commission receive and file this training.

STAFF COMMUNICATIONS ON ITEMS OF COMMUNITY INTEREST

COMMISSIONER AB1234 COUNCIL CONFERENCE REPORTING

Members of the Planning Commission will provide a brief report on meetings attended at the expense of the local agency as required by Government Code Section 53232.3(d).

ADJOURNMENT

I, Esmeralda Elise, Planning Commission Secretary for the City of Santa Fe Springs hereby certify that a copy of this agenda has been posted no less than 72 hours at the following locations; City's website at www.santafesprings.gov; Santa Fe Springs City Hall, 11710 Telegraph Road; Santa Fe Springs City Library, 11700 Telegraph Road; and the Town Center Plaza (Kiosk), 11740 Telegraph Road.



CITY OF SANTA FE SPRINGS

PLANNING COMMISSION AGENDA STAFF REPORT

TO: Members of the Planning Commission
FROM: Cuong Nguyen, Director of Community Development
BY: Esmeralda Elise, Executive Assistant
SUBJECT: **MINUTES OF THE JANUARY 26, 2026 MEETING**
DATE: February 18, 2026

RECOMMENDATION(S):

It is recommended that the Planning Commission:

- 1) Approve the minutes as submitted.

FISCAL IMPACT:

N/A

BACKGROUND/DISCUSSION:

Staff has prepared minutes for the following meeting:

- January 26, 2026 Planning Commission Meeting

ANALYSIS:

N/A

ENVIRONMENTAL:

N/A

DISCUSSION:

N/A

SUMMARY

N/A

ATTACHMENT(S):

1. Minutes of the January 26, 2026 Planning Commission Meeting

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>



APPROVED:

MINUTES OF THE REGULAR MEETING OF THE SANTA FE SPRINGS PLANNING COMMISSION

January 26, 2026

1. CALL TO ORDER

Chairperson Sarno called the meeting to order at 6:04 p.m.

2. ROLL CALL

Members present: Chairperson Sarno
Vice Chairperson Jimenez
Commissioner Ayala
Commissioner Cervantes
Commissioner Flores

Staff: Susie Altamirano, Assistant City Attorney
Cuong Nguyen, Director of Community Development
Vince Velasco, Assistant Director
Alejandro De Lorea, Associate Planner
Esmeralda Elise, Planning Commission Secretary

3. PLEDGE OF ALLEGIANCE

Chairperson Sarno called upon Commissioner Ayala to lead everyone in the Pledge of Allegiance.

4. EX PARTE COMMUNICATIONS

None.

5. PUBLIC COMMENT

None.

6. ELECTIONS FOR PLANNING COMMISSION CHAIRPERSON AND VICE CHAIRPERSON

Before proceeding with nominations, Planning Commission Secretary called upon Community Development Director Cuong Nguyen to provide staff recommendation.

After staff recommendation, Planning Commission Secretary declared the Office of Planning Commission Chairperson vacant and requested nominations.

Commissioner Flores nominated Commissioner Jimenez for Chairperson, having no further nominations, the Office of Chair was closed.

Commissioner Ayala moved to confirm the nomination for Commissioner Jimenez, Commissioner Sarno seconded the nomination, which passed with the following roll call vote:

Ayes: Ayala, Cervantes, Flores, Jimenez, and Sarno

Nays: None

Planning Commission Secretary declared the Office of Planning Commission Vice Chairperson vacant and requested nominations.

Commissioner Flores nominated Commissioner Ayala for Vice Chairperson, having no further nominations, the Office of Vice Chairperson was closed.

Commissioner Flores moved to confirm the nomination for Commissioner Ayala, Commissioner Sarno seconded the nomination, which passed with the following roll call vote:

Ayes: Ayala, Cervantes, Flores, Jimenez, and Sarno

Nays: None

7. CONSENT ITEM

Consent Agenda items are considered routine matters, which may be enacted, by one motion and roll call vote. Any item may be removed from the Consent Agenda and considered separately by the Planning Commission.

1. MINUTES OF THE DECEMBER 08, 2025 REGULAR MEETING
2. A REQUEST FOR A TIME EXTENSION OF DEVELOPMENT PLAN APPROVAL CASE NOS. 930, 1006, AND 1007, AND TENTATIVE PARCEL MAP NO. 84502 TO ALLOW THE CONSTRUCTION OF THREE (3) NEW CONCRETE TILT-UP INDUSTRIAL BUILDINGS OF ±78,417 SQ. FT., ±286,305 SQ. FT., AND ±298,373 SQ. FT., LOCATED ON THE NORTHWEST CORNER OF TELEGRAPH ROAD AND SANTA FE SPRINGS ROAD (APNS: 8005-015-047 AND 8005-015-051), WITHIN THE M-1 (LIGHT MANUFACTURING) AND M-2 (HEAVY MANUFACTURING) ZONES. (BRIDGELAND RESOURCES, LLC)

Chairperson Jimenez requested a motion and a second for Consent Item Nos 1 and 2.

It was moved by Vice Chair Ayala and seconded by Commissioner Flores to approve Consent Item Nos 1 and 2, and the recommendations regarding this matter, which passed by the following roll call vote:

Ayes: Ayala, Cervantes, Flores, Jimenez, and Sarno

Nays: None

Absent: None

Chairperson Jimenez read the City's appeal process.

8. PUBLIC HEARING

DEVELOPMENT PLAN APPROVAL CASE NO. 1014 - TO CONSTRUCT A NEW ±85,950 SQUARE-FOOT CONCRETE TILT-UP INDUSTRIAL BUILDING LOCATED AT 9005 SORENSEN. (XEBEC REALTY)

Recommendation:

Chair Jimenez called upon Associate Planner Alejandro De Loera to present this item.

Chair Jimenez opened the Public Hearing at 6:15 p.m. and inquired if any comments were received via email. Planning Commission Secretary Esmeralda Elise responded no comments were received.

Vice Chair Ayala had a question for the applicant. Having no further questions or comments, Chair Jimenez closed the Public Hearing at 6:26 p.m. and requested a motion.

It was moved by Vice Chair Ayala, seconded by Commissioner Sarno to approve DPA Case No. 1014 and adopt Resolution No. 312-2025, which incorporates the Planning Commission's findings and actions regarding this matter, which passed by the following roll call vote:

Ayes: Ayala, Cervantes, Flores, Jimenez, and Sarno
Nays: None
Absent: None

Chairperson Jimenez read the City's appeal process.

9. PRESENTATIONS

4) ZONING CODE EDUCATION SERIES: ZONES

Chair Jimenez called upon Assistant Director of Community Development Vince Velasco to present this item.

After the presentation Chair Jimenez asked if any of the Commissioners had questions for Vince Velasco. Having no questions, Chair Jimenez thanked Assistant Director of Community Development Vince Velasco for the training.

10. ANNOUNCEMENTS

- Staff

Director of Community Development Cuong Nguyen gave some background on an upcoming Public Hearing Case that will be going before them.

- Commissioners

All the Commissioners wished each other a Happy New Year and congratulated the new appointments.

11. ADJOURNMENT

Chair Jimenez adjourned the meeting at 6:40 p.m.

ATTEST:

Esmeralda Elise
Planning Commission Secretary

Chair Jimenez

Date



CITY OF SANTA FE SPRINGS

PLANNING COMMISSION AGENDA STAFF REPORT

TO: Members of the Planning Commission

FROM: Cuong Nguyen, Director of Community Development

BY: Cynthia Alvarez, Assistant Planner

SUBJECT: COMPLIANCE REVIEW OF CONDITIONAL USE PERMIT (“CUP”) CASE NO. 764-1 TO CONTINUE OPERATION AND MAINTENANCE OF AN EXISTING WIRELESS TELECOMMUNICATION FACILITY ON A 142-FOOT-HIGH SOUTHERN CALIFORNIA EDISON (SCE) TRANSMISSION TOWER LOCATED AT 11213 TELEGRAPH ROAD (APN: 8006-032-800), WITHIN THE PF, PUBLIC USE FACILITIES, ZONE

DATE: February 18, 2026

RECOMMENDATION(S):

It is recommended that the Planning Commission:

- 1) Find and determine that the continued operation and maintenance of an existing wireless telecommunication facility on the Project Site, if conducted in strict compliance with the conditions of approval, will not be detrimental to persons or properties in the surrounding area or to the City in general, and will conform with the overall purpose and objectives of the Zoning Code and consistent with the goals, policies and programs of the City’s General Plan.
- 2) Require that Conditional Use Permit (CUP) Case No. 764-1 be subject to a compliance review in ten (10) years, on or before February 18, 2036, to ensure that the use remains in strict compliance with the conditions of approval as contained within this staff report.
- 3) Take such additional, related action that may be desirable.

FISCAL IMPACT:

Aside from the processing fees collected for the subject compliance review, there is no ongoing fiscal impact.

BACKGROUND/DISCUSSION:

The Project Site is comprised of one parcel located at 11312 Telegraph Road (APN: 8006-032-800). The property is bordered by the San Gabriel River to the west, Telegraph Road to the south, and I-605 to the east.

It measures approximately 2.5 acres and is located within the PF, Public Use Facilities, Zone. On August 10 2015, the Planning Commission originally approved CUP Case No. 764 for an ex-post facto approval for an existing wireless telecommunication facility on a 142'-0" high Southern California Edison (SCE) transmission tower and to add three new Remote Radio Units (RRUs), and to upgrade the DC power. At the time of approval, the entitlement was conditioned for a compliance review after ten (10) years of the approval date.

Project/Applicant Information

Project Site: 11312 Telegraph Road
Project Applicant: Network Connex
Property Owner: Southern California Edison Company
General Plan Designation: Open Space
Zoning Designation: Public Use Facilities
Existing Use on Project Site: Lattice Tower

Code Section:	Conditional Uses:
§157.10	<u>(A) Unless Cal. Gov't Code § 65964(b), as may be amended, authorizes the city to issue a permit with a shorter term, a permit for any wireless telecommunications facility shall be valid for a period of ten years, unless pursuant to another provision of this code it lapses sooner or is revoked. At the end of ten years from the date of issuance, such permit shall automatically expire.</u>

ANALYSIS:

On October 15, 2025, Network Connex ("Applicant") formally submitted a request for a ten (10) year renewal of CUP Case No. 764. There are no proposed changes to the site. As part of the standard CUP renewal process, City staff conducted a window survey of the site to assess the maintenance on November 5, 2025. Staff noticed graffiti on portions

of the leased area and notified the Applicant.

Upon notification, the applicant restored the site to remain compliant with proper maintenance. With all matters resolved, the wireless tower is deemed to be operating in full compliance with the conditions of approval.

ENVIRONMENTAL:

N/A

DISCUSSION:

N/A

SUMMARY/NEXT STEPS:

Staff finds that if the wireless telecommunication tower continues to operate in strict compliance with the required conditions of approval, the use will continue to be compatible with the surrounding developments and will not pose a nuisance risk to the public or environment. Therefore, staff recommends that CUP Case No. 764-1 be subject to a compliance review in ten (10) years to ensure the use is still operating in compliance with the conditions of approval as contained in this staff report.

ATTACHMENT(S):

1. Attachment A – Aerial Photograph
2. Attachment B – Site Photos
3. Attachment C – Compliance Letter Request
4. Attachment D – Conditions of Approval

ATTACHMENT A –
AERIAL PHOTOGRAPH



ATTACHMENT B –
SITE PHOTOS



ATTACHMENT C –
COMPLIANCE REQUEST LETTER



October 6, 2025

City of Santa Fe Springs Planning Division
Community Development Department
11710 Telegraph Road Santa Fe Springs, CA 90670

Subject: Formal Request for Conditional Use Permit (CUP) Compliance Review and Renewal – **T-Mobile Site LA03029B**

Dear Planning Department Staff,

This letter serves as a formal request for a **Compliance Review Inspection** and renewal of the Conditional Use Permit (CUP) for the T-Mobile West wireless telecommunications facility located at **11213 Telegraph Rd., Santa Fe Springs, CA 90670**.

T-Mobile West LLC requests the renewal of the CUP for the continued use and operation of the existing facility. The equipment is currently installed on an existing lattice tower structure.

The existing facility details are as follows:

Applicant	T-Mobile West LLC
Site Name/Number	LA03029B / TM029 M-1 T-4 Center Olinda SCE Built 1968
Site Address	11213 Telegraph Rd., Santa Fe Springs, CA 90670
APN	8006-032-800
Property Owner	Southern California Edison Company (SCE)
Equipment	Nine (9) existing antennas, Six (6) existing radios, Two (2) existing equipment cabinets, One (1) existing battery cabinet, and One (1) existing GPS antenna.

The facility has been operating in strict compliance with all conditions of approval previously set forth in the Conditional Use Permit. We understand that this renewal process requires a Compliance Review Inspection and the submission of the required processing fee (currently \$1,515 for a CUP Compliance Review).

We have included the following required documents with this submission:

- 500' Radius Map and Owner List
- List Affidavit
- Vicinity Map
- RF-EME Compliance Letter/Predictive Study
- T-Mobile West Letter of Agency (LOA) for Permitting

Please contact the representative below at your earliest convenience to schedule the mandatory inspection and to provide instructions for the submission of the required fee.

Thank you for your time and assistance with this CUP renewal. We look forward to your prompt confirmation and guidance on the next steps.

Sincerely,

Regards,

Isabel Chavez

Site Acquisition Specialist 2

T-Mobile Representative

ichavez@networkconnex.com

Isabel.chavez41@T-Mobile.com

(951) 496-2452

ATTACHMENT D
CONDITIONS OF APPROVAL
CUP Case No. 764
(11312 Telegraph Road)

CONDITIONS OF APPROVAL – CUP 764-1

Note: Changes to existing conditions are provided as strike-through or bold.

POLICE SERVICES DEPARTMENT:

(Contact: Kristen Haining 562.409.1850 x3302)

1. That the applicant shall repair the shroud at the base of the leg of the tower. The shroud is damaged and as a result the coax cables are exposed. Upon completion of the task, which shall be completed within ninety (90) days from the date of approval by the Planning Commission, Applicant shall notify Margarita Munoz. **(Complete/Ongoing)**

COMMUNITY DEVELOPMENT DEPARTMENT:

(Contact: Cynthia Alvarez 562.868-0511 x7519)

2. That the communication facility and appurtenant improvements shall otherwise be substantially in accordance with the site plan, antenna layout plan, antenna and mounting detail (~~Sheet A-4~~) and elevations submitted by the applicant and on file with the case. **(Ongoing)**
3. That the Applicant shall promptly notify the Director of **Planning Community Development**, in writing, in the event that their use of the telecommunication facility is discontinued or abandoned. Additionally, Applicant shall promptly remove their antennas and related equipment from the facility, repair any damages to the premises caused by such removal, and restore the premises to its previous condition. All such removal, repair and restoration shall be completed within six (6) months after the use is discontinued or abandoned and shall be performed in accordance with all applicable health and safety code requirements. **(Ongoing)**
4. That if emergency generator(s) are required, the generators shall be located within the leased area, and only be operated during power outages and for testing and maintenance purposes only. The installation of emergency generator(s) shall require prior approval from the Director of **Planning Community Development**, the Department of Fire-Rescue, and the Building Division of the City of Santa Fe Springs. **(Ongoing)**
5. That if there is evidence that the conditions of approval have not been fulfilled or the use resulted in a substantial adverse effect on the health, and/or general welfare of users of adjacent or proximate property, or have substantial adverse impact on public facilities or services, the Director of **Planning Community Development** may refer the use permit to the Planning Commission for review. If upon review, the Commission finds that any of the results above have occurred, the Commission may modify or revoke the use permit. **(Ongoing)**
6. Notice is hereby given that the Planning Commission may, after conducting a public hearing, revoke or modify the conditions of approval of CUP Case No.764-1, if the Commission finds that these conditions have been violated or that the Permit has been

exercised so as to be detrimental to the public's health or safety or so as to be a nuisance.
(Ongoing)

7. That the Applicant shall comply, if applicable, with the City's "Heritage Artwork in Public Places Program" in conformance with City Ordinance No.909. **(Ongoing)**
8. That the Applicant agree to defend, indemnify and hold harmless the City of Santa Fe Springs, its agents, officers, and employees from any claim, action or proceeding against the City or its agents, officers, or employees to attach, set aside, void or annul an approval of the City or any of its councils, commissions, committees or boards concerning CUP Case No.764-1, when action is brought within the time period provided for in the City's Zoning Ordinance, Section 155.865. Should the City, its agents, officers or employees receive notice of any such claim, action or processing, the City shall promptly notify the applicant of such claim, action or proceeding, and shall cooperate fully in the defense thereof. **(Ongoing)**
9. That CUP Case No.764-1 shall be subject to a compliance review in ten (10) years (~~January 10, 2025~~ **February 18, 2036**),-subject to the conditions of approval as contained within the staff report. Approximately three (3) months before ~~January 10, 2025~~ February 18, 2036, the Applicant shall request, in writing, an extension of the privileges granted herein.
10. It is hereby declared to be the intent that if any provision of this Permit is violated or held to be invalid, or if any law, statue or ordinance is violated, the Permit shall be void and the privileges granted hereunder shall lapse. (Ongoing)



CITY OF SANTA FE SPRINGS

PLANNING COMMISSION AGENDA STAFF REPORT

TO: Members of the Planning Commission

FROM: Cuong Nguyen, Director of Community Development

BY: Cynthia Alvarez, Assistant Planner

SUBJECT: CONSENT CALENDAR – DEVELOPMENT PLAN APPROVAL (“DPA”) CASE NO. 1002 – A TIME EXTENSION REQUEST TO ALLOW THE CONSTRUCTION OF A NEW 104,900 SQ. FT. CONCRETE TILT-UP INDUSTRIAL BUILDING AND RELATED IMPROVEMENTS ON PROPERTY LOCATED AT 13711 FREEWAY DRIVE, WITHIN THE M-2-FOZ, HEAVY MANUFACTURING – FREEWAY OVERLAY, ZONE

DATE: February 18, 2026

RECOMMENDATION(S)

It is recommended that the Planning Commission:

- 1) Approve a two (2) year time extension for DPA Case No. 1002 (until February 18, 2028), subject to the conditions of approval (Attachment C); and
- 2) Take such additional, related actions that may be desirable.

FISCAL IMPACT:

Aside from the processing fees collected from the application, there is no ongoing fiscal impact anticipated.

BACKGROUND:

Project/Applicant Information

Project Site: 13711 Freeway Drive (APN: 8069-015-055)

Project Applicant: Kevin Nguyen on behalf of Rexford Industrial

Property Owner: Rexford Industrial

General Plan Designation: Freeway Commercial

Zoning Designation: M-2-FOZ (Heavy Manufacturing-Freeway Overlay)
Zone

Existing Use on Property: Industrial Building

ANALYSIS:

On July 10, 2023, the Planning Commission approved Development Plan Approval Case No. 1002 to allow the construction of a new 104,900 sq. ft. concrete tilt-up industrial building and related improvements on property located at 13711 Freeway Drive.

Following Planning Commission approval, Rexford Industrial submitted for Plan Check on August 29, 2023. After diligent communication and efforts with City staff, plans received approval in August of 2024. However, sudden changes in the economic market shifted the project's timing and viability. The final steps necessary to formally pull permits were brought to a halt while Rexford reevaluated for market stability. As a result, plans reached their expiration date shortly after.

On December 17, 2025, Kevin Nguyen, on behalf of Rexford Industrial (“Applicant”) submitted a time extension request for Development Plan Approval (DPA Case No. 1002). The applicant is seeking a two (2)- year extension to accommodate the reevaluation of the project's demand, costs, conditions, and feasibility. It is projected that the first half of the extension would allow for an accurate determination of market conditions along with cost evaluation for development. The second half of the requested time would be spent on revising and completing construction plans to ensure compliance with the updated Building Code.

The applicant has concurrently submitted a Temporary Truck, Trailer, and Container Storage Permit Application. If approved, Rexford Industrial would be able to utilize the site for temporary surface storage while continuing to evaluate market conditions and the economic feasibility of the proposed development. This interim use would activate an otherwise vacant property, providing operational oversight, regular maintenance, and site security, while reducing the potential for illegal dumping, vandalism, and blight. The temporary use represents an efficient and low-impact utilization of the site that maintains flexibility for future development and supports orderly land use planning until such time that permanent construction is viable.

ENVIRONMENTAL:

N/A

Development Plan Approval Case No. 1002-1

SUMMARY:

Staff believes the applicant has made meaningful progress towards completing the necessary work to achieve development of the site. Extending DPA 1002 will keep the entitlement valid and allow the applicant to successfully reassess the project to ensure a timely and compliant development. Therefore, staff recommends extending DPA Case No. 1002 for two (2) years—until February 18, 2028—subject to the conditions of approval (Attachment C).

ATTACHMENT(S):

- A. Aerial Photograph
- B. Request for Time Extension
- C. Conditions of Approval

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>

Attachment A
Aerial Photograph



13711 Freeway Drive (APN: 8025-002-026)
Development Plan Approval (DPA) Case No. 1002

Attachment B

Request for Time Extension



**Rexford
Industrial**

12/12/2025

Luis Gomez
Vice President, Development
11620 Wilshire Blvd, 10th Floor
Los Angeles, CA 90025
LGomez@rexfordindustrial.com

Community Development Department
ATTN: Cuong Nguyen, Vince Velasco
Santa Fe Springs
11710 E Telegraph Rd
Santa Fe Springs, CA 90670

Re: Request for Extension of Previously Approved Entitlements – (13711 Freeway Drive / DPA Case No. 1002)

To Whom It May Concern:

I am writing to respectfully request an extension of the previously approved entitlements for Development Plan Approval No. 1002, located at 13711 Freeway Drive, Santa Fe Springs, CA 90670. Our team greatly appreciates the Community Development Department's support throughout the entitlement process and remains committed to moving this project forward.

Rexford Industrial is a publicly traded real estate investment trust focused exclusively on infill industrial properties throughout Southern California. Our success is driven by our comprehensive understanding of the market and focus on long-term growth. As an organization, we prioritize sustainability, community investment, and strong municipal and stakeholder relationships. These values guide our operations and underscore our dedication to supporting the communities in which we operate.

Rexford Industrial remains dedicated to long-term ownership and investment within the City of Santa Fe Springs and greatly values our ongoing relationship with the City. We appreciate the City's collaborative environment that has supported responsible industrial growth over the years. Rexford Industrial currently owns 20 properties in Santa Fe Springs,

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Rexford Industrial

totaling approximately 2 million square feet, and we continue to reinvest in the community through meaningful redevelopment efforts. Most recently, we successfully completed two major redevelopment projects at 9615 Norwalk Boulevard and 10000 Pioneer Boulevard, both of which have delivered modern, Class-A industrial facilities that contribute to the City's employment base and economic vitality. This commitment underscores our intention to bring the subject Project to completion as market conditions allow.

Unfortunately, due to current real estate and capital market conditions, we have been unable to commence development within the originally anticipated timeframe. Over the past three years, the industrial development market has experienced significant challenges including elevated interest rates, construction cost volatility, and reduced leasing activity. For the 13711 Freeway Dr. project in particular, the escalation in construction costs has created a significant financial gap that could only be bridged by market rental rate increases that are not achievable in today's market. These factors have created financial constraints that have temporarily limited our ability to proceed with construction.

While we work toward market stabilization, we are concurrently submitting a request for a Temporary Storage Permit to allow an interim tenant to utilize the site for truck, trailer, vehicle, or container storage. This interim use will enable the property to remain active and maintained while posing no impact to the long-term redevelopment plan contemplated under the approved entitlements. Our intention is to ensure the site remains orderly, secure, and compliant with all applicable standards during this interim period.

For these reasons, we respectfully request an extension of twenty-four months for the entitlements associated with DPA Case No. 1002. We would be happy to provide any additional documentation or participate in any meetings required to process this request.

Thank you for your consideration and continued partnership. We look forward to bringing this project to fruition and contributing to the industrial and employment base of Santa Fe Springs.

Sincerely,

Luis Gomez

Vice President, Development
Rexford Industrial

Attachment C

Conditions of Approval

**ATTACHMENT C
CONDITIONS OF APPROVAL**

**DEVELOPMENT PLAN APPROVAL CASE NO. 1002
(13711 Freeway Drive, Santa Fe Springs, CA 90670)**

ENGINEERING / PUBLIC WORKS DEPARTMENT:
(Contact: Robert Garcia 562.868-0511 x7545)

1. That the applicant shall pay a flat fee of \$54,235.75 to reconstruct/resurface the existing street frontage to centerline for Freeway Drive and Spring Avenue.
2. That the applicant shall design and construct a 5-foot wide meandering sidewalk and dedicate an easement along the Freeway Drive and Springs Avenue street frontages. If applicable, the dedicated easement shall be shown on the Parcel/Tract Map. Furthermore, said meandering sidewalk shall be shown on both the civil and landscape plans
3. All oil wells, pipelines, tanks, and related lines within the public right-of-way shall be removed from the right-of-way unless otherwise approved by the City Engineer.
4. That adequate "on-site" parking shall be provided per City requirements, and all streets abutting the development shall be posted "No Stopping Any Time." The City will install the offsite signs and the applicant shall pay \$1,400.00 for the installation of (7) new signs.
5. The applicant shall reimburse the City for the actual cost for the installation, replacement or modification of street name signs, traffic control signs, striping and pavement markings required in conjunction with the development. The City will complete the work.
6. That the applicant shall pay to the City the entire cost of design, engineering, installation and inspection of (7) street lights on Freeway Drive and Spring Avenue. The City will design and cause construction of said street light(s).
7. That common driveways shall not be allowed unless approved by the City Engineer. Proposed driveways shall be located to clear existing fire hydrants, street lights, water meters, etc.
8. Applicant shall remove all existing driveway approaches and install new per City Standard Plan R-6.4-C. New driveway approaches will not be permitted within 200 feet (minimum) of either curb returns at north/ west corner of Freeway Drive and Spring Avenue.

9. The applicant and/or developer shall pay for the design, installation, and inspection of undergrounding any existing or new overhead utility services into the property along Freeway Drive and Spring Avenue.
10. Storm drains, catch basins, connector pipes, retention basin and appurtenances built for this project shall be constructed in accordance with City specifications in Freeway Drive and Spring Avenue. Storm drain plans shall be approved by the City Engineer.
11. Fire hydrants shall be installed as required by the Fire Department. Existing public fire hydrants adjacent to the site, if any, shall be upgraded if required by the City Engineer. That the applicant shall pay to the City the entire cost of design, engineering, installation and inspection of Fire hydrants.
12. That sanitary sewers shall be constructed in accordance with City specifications to serve the subject development. The plans for the sanitary sewers shall be approved by the City Engineer and LA County Sanitation District. A sewer study (including a sewer flow test) shall be submitted along with the sanitary sewer plans. (Adjacent Sewer Mains under City of Santa Fe Springs jurisdiction).
13. All buildings shall be connected to the sanitary sewers.
14. That the fire sprinkler plans, which show the proposed double-check valve detector assembly location, shall have a stamp approval from the Planning Department and Public Works Department prior to the Fire Department's review for approval. Disinfection, pressure and bacteriological testing on the line between the street and detector assembly shall be performed in the presence of personnel from the City Water Department. The valve on the water main line shall be operated only by the City and only upon the City's approval of the test results.
15. That the applicant shall obtain a Storm Drain Connection Permit for any connection to the storm drain system.
16. The applicant shall have an overall site utility master plan prepared by a Registered Civil Engineer showing proposed location of all public water mains, reclaimed water mains, sanitary sewers and storm drains. This plan shall be approved by the City Engineer prior to the preparation of any construction plans for the aforementioned improvements.
17. That all points of access to the proposed development shall be reviewed and approved by the City Engineer.
18. That the applicant shall comply with Congestion Management Program (CMP) requirements and provide mitigation of trips generated by the development. The applicant and/or developer will receive credit for the demolition of any buildings

that formerly occupied the site. For new developments, the applicant and/or developer cannot meet the mitigation requirements, the applicant and/or developer shall pay a mitigation fee to be determined by the City Engineer for off-site transportation improvements.

19. That the applicant shall comply with all requirements of the County Sanitation District, make application for and pay the sewer maintenance fee. -
20. That the applicant shall pay the water trunkline connection fee of \$3,700 per acre upon application for water service connection or if utilizing any existing water service.
21. That a grading plan shall be submitted for drainage approval to the City Engineer. The applicant shall pay drainage review fees in conjunction with this submittal. A professional civil engineer registered in the State of California shall prepare the grading plan.
22. That a hydrology study shall be submitted to the City reviewed by the City Engineer for approval. The study shall be prepared by a Professional Civil Engineer.
23. That upon completion of public improvements constructed by developers, the developer's civil engineer shall submit mylar record drawings and an electronic file (AutoCAD Version 2019 or higher) to the office of the City Engineer.
24. That the applicant shall comply with the National Pollutant Discharge Elimination System (NPDES) program and shall require the general contractor to implement storm water/urban runoff pollution prevention controls and Best Management Practices (BMPs) on all construction sites in accordance with the current MS4 Permit. The applicant will also be required to submit a Certification for the project and will be required to prepare a Storm Water Pollution Prevention Plan (SWPPP).

DEPARTMENT OF FIRE - RESCUE (FIRE PREVENTION DIVISION)
(Contact: Kevin Yang 562.868-0511 x3811)

25. Prior to issuance of Certificate of Occupancy or Building Final, the applicant shall install a fire sprinkler system based on the information provided. Fire sprinkler plans shall be submitted and approved by the Santa Fe Springs Department of Fire-Rescue prior to installation.
26. Prior to issuance of Certificate of Occupancy or Building Final, the applicant shall install a monitored manual/automatic fire alarm system in accordance with California Fire Code Section 907. Plans shall be submitted and approved by the Santa Fe Springs Department of Fire-Rescue prior to installation.

27. Prior to issuance of Building Permit, plans for an emergency responder radio coverage system in accordance with California Fire Code Section 510 shall be submitted to the Santa Fe Springs Department of Fire-Rescue for review and approval.
28. Prior to issuance of Building Permit, a written fire safety plan for construction in accordance with California Fire Code Section 3303.1.1 shall be submitted to the Santa Fe Springs Department of Fire-Rescue for review and approval.
29. Prior to issuance of Building Permit, the applicant shall provide the Santa Fe Springs Department of Fire-Rescue with a site plan for fire lanes and signage.
30. That the standard aisle width for onsite emergency vehicle maneuvering shall be 26 feet with a minimum clear height of 13 feet 6 inches. Internal driveways shall have a turning radius of not less than 52 feet. The final location and design of this 26 feet shall be subject to the approval of the City's Fire Chief as established by the California Fire Code. A request to provide emergency vehicle aisle width less than 26 feet shall be considered upon the installation/provision of mitigation improvements approved by the City's Fire Chief.
31. That interior gates or fences are not permitted across required access roadways unless otherwise granted prior approval by the Santa Fe Springs Department of Fire-Rescue.
32. Prior to issuance of Certificate of Occupancy or Building Final, "Blue Reflective Markers" shall be installed to identify fire hydrant locations.
33. Prior to issuance of a Certificate of Occupancy or Building Final, a "Knox Box Rapid Entry System" shall be provided. The Knox Box shall be installed in an accessible location approved by the Fire Code Official. Electric powered gates shall be provided with Knox key switches for access by emergency personnel. Where manual operated gates are permitted, they shall be provided with a Knox box or Knox padlock.

DEPARTMENT OF FIRE - RESCUE (ENVIRONMENTAL DIVISION)
(Contact: Eric Scott 562.868-0511 x3812)

34. That prior to issuance of building permits, the applicant shall comply with the applicable conditions below and **obtain notification in writing** from the Santa Fe Springs Department of Fire-Rescue Environmental Protection Division (EPD) that all applicable conditions have been met:
 - a. At a minimum, the applicant must conduct an All Appropriate Inquiries (AAI) Investigation (formerly called a Phase I Environmental Site Assessment) in accordance with ASTM Standard E1527-05. The applicant shall provide the EPD with a copy of the AAI investigation report for review and approval. If the AAI investigation identifies a

release, or potential release at the site, the applicant must comply with part b.

- b. An environmental site assessment may be required based on the information presented in the AAI investigation report. The environmental site assessment report must be reviewed and approved by the EPD in writing. Should the report indicate that contaminate levels exceed recognized regulatory screening levels, remedial action will be required. A remedial action work plan must be approved by the authorized oversight agency before implementation. Once remedial action is complete, a final remedial action report must be submitted and approved by the oversight agency.
- c. Soil Management Plan & Report. A Soils Management Plan (SMP) which addresses site monitoring and a contingency plan for addressing previously unidentified contamination discovered during site development activities may be required. If required, the SMP shall be submitted to the EPD for review and approval before grading activities begin. Once grading is complete, a SMP report must be submitted to the EPD for final written approval. Building plans will not be approved until the SMP report has been approved by the EPD in writing.

- 35. Permits and approvals. That the applicant shall, at its own expense, secure or cause to be secured any and all permits or other approvals which may be required by the City and any other governmental agency prior to conducting environmental assessment or remediation on the property. Permits shall be secured prior to beginning work related to the permitted activity.
- 36. That all abandoned pipelines, tanks and related facilities shall be removed unless approved by the City Engineer and Fire Chief. Appropriate permits for such work shall be secured before abandonment work begins.
- 37. That the applicant shall comply with all Federal, State and local requirements and regulations included, but not limited to, the Santa Fe Springs City Municipal Code, California Fire Code, Certified Unified Program Agency (CUPA) programs, the Air Quality Management District's Rules and Regulations and all other applicable codes and regulations.

POLICE SERVICES DEPARTMENT:
(Contact: Luis Collazo 562.409-1850 x3335)

- 38. The applicant shall submit and obtain approval of a proposed lighting (photometric) plan for the property from the City's Department of Police Services. The photometric plan shall be designed to provide adequate lighting (minimum of 1 foot candle power) throughout the subject property. Further, all exterior lighting shall be designed/installed in such a manner that light and glare are not transmitted onto adjoining properties in such concentration/quantity as to create a hardship to adjoining property owners or a public nuisance. The photometric

plans shall be submitted to the designated contact person from the Department of Police Services in conjunction with the submittal of the Parking Electrical Plans. PDF formatted plans are acceptable and shall be emailed to luiscollazo@santafesprings.org.

39. In order to facilitate the removal of unauthorized vehicles parked on the property (after construction of the building is completed), the applicant shall post, in plain view and at each entry to the property, a sign not less than 17" wide by 22" long. The sign shall prohibit the public parking of unauthorized vehicles and indicate that unauthorized vehicles will be removed at the owner's expense and also contain the California Vehicle Section Code 22658 that permits this action. The sign shall also contain the telephone number of the local law enforcement agency (Police Services Center (562) 409-1850). The lettering within the sign shall not be less than one inch in height. The applicant shall contact the Police Services Center for an inspection no later than 30 days after the project has been completed and prior to the occupancy permit being issued.
40. Outdoor storage and activities are strictly prohibited unless tenants obtain approval from the City's Planning Department, Police Service Department and Fire Department.
41. Truck loading and unloading shall be completely screened from public view with decorative masonry walls or appropriate landscaping.
42. Vehicles are not to block traffic at any time. It is the responsibility of the on-site manager to prevent or discourage this activity; drivers are subject to citations.
43. The proposed buildings, including any lighting, fences, walls, cabinets, and poles shall be maintained in good repair, free from trash, debris, litter and graffiti and other forms of vandalism. Graffiti shall be removed or painted over with a matching paint color within 72-hours of occurrence. Any damage from any such cause shall be repaired within 5-days of occurrence, weather permitting, to minimize dangerous conditions and/or visual blight.
44. The property owner and/or lease agent shall notify any potential tenants and/or customers that they are mandated to comply with the ambient noise requirements as required by Santa Fe Springs Zoning Code Section 155.424.
45. The property owner and/or lease agent shall notify any potential tenants that the parking areas and their respective aisles and/or Fire Lanes shall not be reduced or encroached upon with outdoor storage. Moreover, pursuant to Section 95.03(A)(12) outdoor storage is prohibited at all times.
46. All parking stalls and/or designated parking areas shall be continuously available to all employees and customers during their business hours. Parking Stalls shall not be sectioned off for reserved or preferred parking.

47. A permanent building address number shall be placed at the entry way on Freeway Drive. The building address number can be incorporated into any business identification monument sign.
48. Trucks and/or trailers owned by the building occupants and/or his contracted drivers shall not park or queue on the street at any time. The business occupant and/or his acting site manager shall be responsible to make sure this conditions is complied with at all times.
49. The Applicant and/or his tenant be aware that SFSMC §72.16 prohibits the parking of semi-trailers or trailers on any street or alley unless such vehicle is, at all times while so parked, attached to a truck or trailer capable of moving such vehicle in a normal manner upon the public streets and highways.
50. The on-site paving shall be maintained free of pot-holes or other similar damage and the Applicant shall make repairs within 72-hours of identifying any pavement deficiencies.
51. Parking markings (parking striping, directional arrows, etc.) shall be maintained at all times and re-painted when they become faded.
52. The applicant shall provide an emergency phone number and a contact person of the person or persons involved in the supervision of the construction to the Department of Police Services. During the construction phase of the proposed project, the contractor shall provide an identification number (i.e. address number) at each building and/or entry gate to direct emergency responders in case of an emergency. The identification numbers may be painted on wood boards and fastened to the temporary construction fence. The boards may be removed after each building has been identified with their individual permanent number address. **DO NOT PAINT NUMBERS ON THE BUILDING.**
53. The applicant shall provide an emergency phone number and a contact person of the person or persons involved in the supervision of the construction to the Department of Police Services. The name, telephone number, fax number and e-mail address of that person shall be provided to the Department of Police Services (Attn: Lou Collazo) no later than 60 days from the date of approval by the Planning Commission. Emergency information shall allow emergency services to reach the applicant or their representative at any time, 24 hours a day. Information will be submitted to the emergency dispatch operators serving police and Fire agencies.
54. It shall be the responsibility of the job-supervisor to maintain the job site in a clean and orderly manner. Dirt, dust, and debris that have migrated to the street or neighboring properties shall be immediately cleaned. Porta-potties, or equal, shall not be visible from the public street and maintained on a regular basis. All

construction debris shall be placed in trash/recycle bins at the end of every work day and shall not be left out visible from public view.

WASTE MANAGEMENT:

(Contact: Maribel Garcia 562.409-7569)

55. The applicant shall comply with Section 50.51 of the Municipal Code which prohibits any business or residents from contracting any solid waste disposal company that does not hold a current permit from the City.
56. All projects over \$50,000 are subject to the requirements of Ordinance No. 914 to reuse or recycle 75% of the project waste. Contact the Environmental Consultant, Morgan McCarthy at (562) 432-3700 or (805) 815-2492.
57. The applicant shall comply with Public Resource Code, Section 42900 et seq. (California Solid Waste Reuse and Recycling Access Act of 1991) as amended, which requires each development project to provide adequate storage area for the collection/storage and removal of recyclable and green waste materials.

PLANNING AND DEVELOPMENT DEPARTMENT:

(Contact: Jimmy Wong 562.868-0511 x7451)

58. During construction, the following information shall be made available on a sign posted at the main entrance(s) to the site:
 1. Name of the development/project.
 2. Name of the development company.
 3. Address or Address range for the subject site.
 4. 24-hour telephone number where someone can leave a message on a particular complaint (dust, noise, odor, etc.)
59. The applicant shall implement a dust control program for air quality control. The program shall ensure that a water vehicle for dust control operations is kept readily available at all times during construction. The developer shall provide the City Engineer and Building Official with the name, telephone number and e-mail address of the person directly responsible for dust control and operation of the vehicle.
60. The Mitigation Monitoring and Reporting Program, which was prepared for the proposed project and adopted by the Planning Commission along with the Initial Study/Mitigated Negative Declaration, shall be made part of the conditions of approval for the subject development on property located at 13711 Freeway Drive (APN: 8069-015-058). The Mitigation Monitoring and Reporting Program is listed as an attachment to the Resolution.
61. The applicant shall be responsible for implementing mitigation measures pursuant to the Mitigation Monitoring and Reporting Program and provide all

necessary documentation. Prior to the issuance of the Certificate of Occupancy, Planning Department staff will verify that all items required prior to occupancy have been completed. Mitigations that require on-going monitoring shall be reported to the City every six (6) months.

62. Upon discovery of any tribal cultural resources (TCR), all construction activities in the immediate vicinity of the discovery shall cease (i.e., not less than the surrounding 50 feet) and shall not resume until the discovered TCR has been fully assessed by a qualified Native American Monitor archaeologist. The a qualified Native American Monitor archaeologist will recover and retain all discovered TCRs in the form and/or manner the Tribe deems appropriate, in the Tribe's sole discretion, and for any purpose the Tribe deems appropriate, including for educational, cultural and/or historic purposes.
63. The Department of Planning and Development requires that the double-check detector assembly be placed as far back as practical, screened by shrubs or other materials, and painted forest green. All shrubs shall be planted a minimum distance of two (2) feet surrounding the detector assembly; however, the area in front of the OS and Y valves shall not be screened. The screening shall also only be applicable to the double-check detector assembly and shall not include the fire department connector (FDC). Notwithstanding, the Fire Marshall shall have discretionary authority to require the FDC to be located a minimum distance from the double-check detector assembly. There shall also be a maximum distance of two (2) feet between the lowest part of the ground and the bottom of the valve shut off wheel.
64. That all Reduced Pressure Backflow preventer shall be installed in a backflow prevention cage on a concrete pad. The backflow preventer shall be painted "hunter green or forest green." Please see All-Spec Enclosure Inc., stainless steel tubular backflow preventer. The enclosure shall be lockable, weather resistant and vandal proof. The location shall be near the water meter in the landscape area. Note: See Public Works Backflow Prevention Enclosure standard W-20.
65. Applicant shall comply with the City's "Heritage Artwork in Public Places Program" in conformance with City Ordinance No. 1054.
66. Applicant understands and agrees that all exterior mechanical equipment shall be screened from view on all sides. Additionally, all roof-mounted mechanical equipment and/or duct work which projects above the roof or roof parapet of the proposed development and is visible from adjacent property or a public street shall be screened by an enclosure which is consistent with the architecture of the building in terms of materials and color and also approved by the Director of Planning or designee. If full screening of roof mounted equipment is not designed specifically into the building, the applicant shall submit mechanical plans that includes a roof plan showing the location of all roof mounted

equipment and any proposed screening prior to submitting plans to the Building Division for plan check.

- a. To illustrate the visibility of equipment and/or duct work, the following shall be submitted along with the Mechanical Plans:
 - I. A roof plan showing the location of all roof-mounted equipment;
 - II. Elevations of all existing and proposed mechanical equipment; and
 - III. A building cross-section drawing which shows the roof-mounted equipment and its relation to the roof and parapet lines

67. The applicant shall submit for approval a detailed landscape and automatic irrigation plan pursuant to the Landscaping Guidelines of the City. Said landscape plan shall indicate the location and type of all plant materials, existing and proposed, shrubs designed to fully screen the interior yard and parking areas from public view, and minimum 24" box trees along the street frontage. *Said plans shall be consistent with AB 1881 (Model Water Efficient Landscape Ordinance).*

NOTE: Staff shall not approve the landscaping and irrigation plan without first reviewing and approving the civil drawings, specifically as it pertains to the landscaping and irrigation plan (i.e., location and size of riprap, bio-swales, areas of infiltration trenches, etc.)

68. The landscaped areas shall be provided with a suitable, fixed, permanent and automatically controlled method for watering and sprinkling of plants. This operating sprinkler system shall consist of an electrical time clock, control valves, and piped water lines terminating in an appropriate number of sprinklers to insure proper watering periods and to provide water for all plants within the landscaped area. Sprinklers used to satisfy the requirements of this section shall be spaced to assure complete coverage of all landscaped areas. *Said plan shall be consistent with AB 1881 (Model Water Efficient Landscape Ordinance).*

69. Upon completion of the new landscaping and landscape upgrade, the required landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This is meant to include proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, and replacement of plants when necessary and the regular watering of all plantings.

70. The applicant shall submit a lighting program that is integrated into the overall site, landscape design and building design. Lighting shall be used to highlight prominent building features such as entries and other focal points. Up-lighting should also be used as a way to enhance the texture of plants and structures, to create a sense of height in a landscape design.

71. That prior to the issuance of the Certificate of Occupancy, the applicant shall provide certification from the Landscape Architect of record that the plant installation on the Site are in accordance with the approval planting and irrigation plan.
72. The electrical plans, which show the location of electrical transformer(s), shall be subject to the approval of the Planning Department. Transformers shall not be located within the front yard setback area. The location of the transformer(s) shall be subject to the prior approval of the Director of Planning and Development or designee. The electrical transformer shall be screened with shrubs consistent with Southern California Edison's Guidelines which requires three (3) foot clearance on sides and back of the equipment, and eight (8) foot clearance in front of the equipment. Additionally, the landscaping irrigation system shall be installed so that they do not spray on equipment. A copy of the SCE Guidelines are available at the Planning Department.
73. All fences, walls, gates and similar improvements for the proposed development shall be subject to the prior approval of the Department of Fire-Rescue and the Department of Planning and Development.
74. The Department of Planning and Development shall first review and approve all sign proposals for the development. The sign proposal (plan) shall include a site plan, building elevation on which the sign will be located, size, style and color of the proposed sign. All drawings shall be properly dimensioned and drawn to scale on 11" x 17" maximum-size paper. All signs shall be installed in accordance with the sign standards of the Zoning Ordinance and the Sign Guidelines of the City.
75. Commercial vehicles, trucks and/or truck tractors shall not queue on Freeway Drive or Spring Avenue, use street(s) as a staging area, or to back up onto the street from the subject property.
76. The proposed building shall be constructed of quality material and any material shall be replaced when and if the material becomes deteriorated, warped, discolored or rusted.
77. Approved unit numbers/letters or address numbers shall be placed on the proposed building in such a position as to be plainly visible and legible from the street fronting the property. Said numbers shall contrast with their background. The size recommendation shall be 12" minimum.
78. Prior to issuance of building permits, the applicant shall comply with the

following conditions to the satisfaction of the City of Santa Fe Springs:

A. Covenants.

1. Applicant shall provide a written covenant to the Planning Department that, except as owner/developer may have otherwise disclosed to the City, Commission, Planning Commission or their employees, in writing, owner/developer has investigated the environmental condition of the property and does not know, or have reasonable cause to believe, that (a) any crude oil, hazardous substances or hazardous wastes, as defined in state and federal law, have been released, as that term is defined in 42 U.S.C. Section 9601 (22), on, under or about the Property, or that (b) any material has been discharged on, under or about the Property that could affect the quality of ground or surface water on the Property within the meaning of the California Porter-Cologne Water Quality Act, as amended, Water Code Section 13000, et seq
2. Applicant shall provide a written covenant to the City that, based on reasonable investigation and inquiry, to the best of applicant's knowledge, it does not know or have reasonable cause to believe that it is in violation of any notification, remediation or other requirements of any federal, state or local agency having jurisdiction concerning the environmental conditions of the Property.

B. Applicant understands and agrees that it is the responsibility of the applicant to investigate and remedy, pursuant to applicable federal, state and local law, any and all contamination on or under any land or structure affected by this approval and issuance of related building permits. The City, Commission, Planning Commission or their employees, by this approval and by issuing related building permits, in no way warrants that said land or structures are free from contamination or health hazards.

C. Applicant understands and agrees that any representations, actions or approvals by the City, Commission, Planning Commission or their employees do not indicate any representation that regulatory permits, approvals or requirements of any other federal, state or local agency have been obtained or satisfied by the applicant and, therefore, the City, Commission, Planning Commission or their employees do not release or waive any obligations the applicant may have to obtain all necessary regulatory permits and comply with all other federal, state or other local agency regulatory requirements. Applicant, not the City, Commission, Planning Commission or their employees will be responsible for any and all penalties, liabilities, response costs and expenses arising from any failure of the applicant to comply with such regulatory requirements.

79. Prior to occupancy of the property/building, the applicant, and/or his tenant(s), shall obtain a valid business license (AKA Business Operation Tax Certificate), and submit a Statement of Intended Use. Both forms, and other required accompanying forms, may be obtained at City Hall by contacting the Finance Department at (562) 868-0511, extension 7520, or through the City's web site (www.santafesprings.org).
80. The applicant shall require and verify that all contractors and sub-contractors have successfully obtained a Business License with the City of Santa Fe Springs prior to beginning any work associated with the subject project. A business license application may be completed online at <https://santafesprings.hdlgov.com>. A late fee and penalty will be assessed to any contractor or sub-contractor that fails to obtain a Business License and a Building Permit final or Certificate of Occupancy will not be issued until all fees and penalties are paid in full. For answers to questions or inquiries surrounding the business license process, please call (562) 264-5219 to speak to a customer service representative.
81. Applicant shall be responsible for reviewing and/or providing copies of the required conditions of approval to his/her architect, engineer, contractor, tenants, etc. Additionally, the conditions of approval contained herein, shall be made part of the construction drawings for the proposed development. *Construction drawings shall not be accepted for Plan Check without the conditions of approval incorporated into the construction drawings.*
82. The development shall otherwise be substantially in accordance with the plot plan, floor plan, and elevations submitted by the owner and on file with the case. Any modification(s) shall be subject to the review and approval of the Director of Planning or his/her designee.
83. The final plot plan, floor plan and elevations of the proposed development and all other appurtenant improvements, textures and color schemes shall be subject to the final approval of the Director of Planning.
84. All other requirements of the City's Zoning Ordinance, Building Code, Property Maintenance Ordinance, State and City Fire Code and all other applicable County, State and Federal regulations and codes shall be complied with.
85. The applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute

resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. In addition, the applicant shall reimburse the City, its officials, officers, employees, agents, departments, agencies, for any Court costs and attorney's fees which the City, its agents, officers, or employees may be required by a court to pay as a result of such action. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any such claim, action or proceeding, and shall cooperate fully in the defense thereof.

86. That the applicant understands and agrees that this approval is subject to modification or revocation as set forth in the Santa Fe Springs Municipal Code. Grounds for modification or revocation include, but are not limited to, Applicant's failure to comply with any condition of approval contained herein.
87. That the applicant understands and agrees that if any term or condition of this approval is determined in whole or in part to be invalid or unenforceable, such determination shall not affect the validity or enforceability of any other term or condition contained herein.
88. Applicant understands if changes to the original plans (submitted and on file with the subject case) are required during construction, revised plans must be provided to the planning department for review and approval prior to the implementation of such changes. Please note that certain changes may also require approvals from other departments.
89. The applicant shall be responsible for ensuring that information contained in construction drawings and/or landscape & irrigation plans are consistent among architectural, structural, electrical, mechanical, plumbing, fire, utility and public improvement plans as well as other civil drawings. This responsibility may be transferred by the applicant to the project architect. While the City aims to correct inconsistencies, it is the ultimate responsibility of the applicant/project architect to remedy, up to and including completion of construction revisions prior to receiving final occupancy approvals.

90. Applicant shall clarify on the construction drawings that all roof drains (facing the street), shall be provided along the interior walls and not along the exterior of the building.
91. The subject property shall not be subleasing of partial building without obtaining the require building permit and planning department approval.
92. That all parking areas shall be striped in accordance with the proposed site plan, as submitted by the applicant and on file with this case. A minimum of 153 parking stalls shall be provided and continually maintained on-site at all times.
93. All parking stalls shall be legibly marked on the pavement. Additionally, all compact spaces shall be further identified by having the words "Compact" or comparable wording legibly written on the pavement, wheel stop or on a clearly visible sign.
94. No portion of the required off-street parking and driveway areas shall be used for outdoor storage of any type or for special-event activities, unless prior written approval is obtained from the Director of Planning, Director of Police Services, and Fire Marshall.
95. The applicant shall provide a bulletin board, display case, or kiosk to display transportation information where the greatest number of employees are likely to see it. Information shall include, but is not limited to:
 - Current maps, routes and schedules for public transit routes serving the site; and
 - Telephone numbers for referrals on transportation information including numbers for the regional ridesharing agency and local transit operators; and
 - Ridesharing promotional material supplied by commuter-oriented organizations; and
 - Bicycle route and facility information, including regional/local bicycle maps and bicycle safety information; and
 - A listing of facilities available for carpoolers, vanpoolers, bicyclists, transit riders and pedestrians at the site. This is required to both meet the requirements of Section 155.502 (D) of the Zoning Ordinance and also a goal identified within the City's General Plan Circulation Element.
 - Not less than 10% of employee parking area shall be located as close as is practical to the employee entrance(s), and shall be reserved for use by potential carpool/vanpool vehicles, without displacing handicapped and

customer parking needs. This preferential carpool/vanpool parking area shall be identified on the site plan upon application for building permit, to the satisfaction of city. A statement that preferential carpool/vanpool spaces for employees are available and a description of the method for obtaining such spaces must be included on the required transportation information board. Spaces will be signed/striped as demand warrants; provided that at all times at least one space for projects of 50,000 square feet to 100,000 square feet and two spaces for projects over 100,000 square feet will be signed/striped for carpool/vanpool vehicles.

- Preferential parking spaces reserved for vanpools must be accessible to vanpool vehicles. When located within a parking structure, a minimum vertical interior clearance of seven feet two inches shall be provided for those spaces and accessways to be used by such vehicles. Adequate turning radii and parking space dimensions shall also be included in vanpool parking areas.
 - Bicycle racks or other secure bicycle parking shall be provided to accommodate four bicycles per the first 50,000 square feet of nonresidential development and one bicycle per each additional 50,000 square feet of nonresidential development. Calculations which result in a fraction of 0.5 or higher shall be rounded up to the nearest whole number. A bicycle parking facility may also be a fully enclosed space or locker accessible only to the owner or operator of the bicycle, which protects the bike from inclement weather. Specific facilities and location (e.g., provision of racks, lockers, or locked room) shall be to the satisfaction of the city.
 - A safe and convenient zone in which vanpool and carpool vehicles may deliver or board their passengers.
 - Sidewalks or other designated pathways following direct and safe routes from the external pedestrian circulation system to each building in the development.
 - If determined necessary by the city to mitigate the project impact, bus stop improvements must be provided. The city will consult with the local bus service providers in determining appropriate improvements. When locating bus stops and/or planning building entrances, entrances must be designed to provide safe and efficient access to nearby transit stations/stops.
 - Safe and convenient access from the external circulation system to bicycle parking facilities on-site.
96. There shall be a safe and convenient zone in which carpool/vanpool vehicles may deliver or board their passengers. Additionally, there shall be sidewalks or other designated pathways following direct and safe routes from external

pedestrian circulation system to each building in the development and safe and convenience access from the external circulation system to bicycle parking facilities on-site. This is required to both meet the requirements of Section 155.502 (D) of the Zoning Ordinance and also a goal identified within the City's General Plan Circulation Element.

97. Prior to or otherwise concurrent with the issuance of Building Permits, the applicant shall obtain an Office Trailer Permit for the use of mobile office trailers during the construction process.
98. Secure fencing around the construction site with locking gates and appropriate lighting shall be installed during construction to prevent trespassing and theft.
99. All new utilities serving the project, within the boundaries of the property, shall be underground.
100. Any on-site traffic calming devices and location shall be reviewed and approved by the City prior to installation, including, but not limited to, speed bumps.
101. Unless otherwise specified in the action granting a Development Plan Approval, said approval which has not been utilized within a period of ~~12~~ **24** consecutive months from the effective date shall become null and void. Also, the abandonment or nonuse of a Development Plan Approval for a period of ~~12~~ **24** consecutive months shall terminate said Development Plan Approval and any privileges granted thereunder shall become null and void. However, an extension of time may be granted by Commission or Council action.



CITY OF SANTA FE SPRINGS

PLANNING COMMISSION AGENDA STAFF REPORT

TO: Members of the Planning Commission

FROM: Cuong Nguyen, Director of Community Development

BY: Alejandro De Loera, Associate Planner

SUBJECT: **CONSENT CALENDAR – DEVELOPMENT PLAN APPROVAL (“DPA”) CASE NO. 1013 – A TIME EXTENSION REQUEST TO CONSTRUCT EIGHT (8) NEW 53’ TALL METAL TANKS FOR THE STORAGE OF LIQUID ARGON AND MODIFICATION PERMIT (“MOD”) CASE NO. 1366 TO ALLOW PARTIAL SCREENING OF THE PROPOSED TANKS AT 8832 DICE ROAD, WITHIN THE M-2, HEAVY MANUFACTURING, ZONE**

DATE: February 18, 2026

RECOMMENDATION(S)

It is recommended that the Planning Commission:

- 1) Approve a one (1) year time extension for DPA Case No. 1013 (until March 10, 2027), subject to the conditions of approval (Attachment C); and
- 2) Take such additional, related actions that may be desirable.

FISCAL IMPACT:

Aside from the processing fees collected from the application, there is no ongoing fiscal impact anticipated.

BACKGROUND:

Project/Applicant Information

Project Site: 8832 Dice Road (APN: 8168-013-027, -008)

Project Applicant: Allen Matkins on behalf of Airgas USA LLC

Property Owner: Airgas USA LLC

General Plan Designation: Industrial

Zoning Designation: M-2, Heavy Manufacturing, Zone

Existing Use on Property: Industrial gas and liquid supplier

ANALYSIS:

On March 10, 2025, the Planning Commission approved Development Plan Approval (DPA Case No. 1013) and Modification Permit (MOD Case No. 1366) to construct and partially screen eight (8) 53' tall metal tanks for the storage of liquid argon at an existing industrial facility (“Project”) located at 8832 Dice Road.

Since approval of the entitlements, the Applicant has actively pursued implementation of the Project. The Project includes large, custom-designed liquid argon storage tanks that are typically fabricated by China International Marine Containers (CIMC). In early March 2025, shortly before Planning Commission approval, significant new tariffs on goods manufactured in China were announced, which the Applicant estimated would increase tank fabrication costs by approximately 90%, with the potential for further increases due to evolving trade policies and freight costs. In response, the Applicant undertook an extensive review of alternative manufacturing options, soliciting and evaluating proposals from eleven vendors in the United States, India, Spain, Turkey, and China. Because the tanks are highly specialized, non-standard components subject to stringent design and safety standards, this review process required several months of technical coordination, design evaluation, and safety and quality assurance review.

By October 2025, the Applicant had received final proposals and determined that most vendors were unable to manufacture the tanks at the required scale or at a competitive cost. By November 2025, the Applicant concluded that CIMC remained the most viable option, based on cost, manufacturing capability, prior experience, and operational safety considerations. While the tariff impacts required additional time for reassessment, the Applicant remains committed to the Project. Although building permits have not yet been submitted, the Applicant anticipates beginning tank installation and vesting the entitlements by March 2027, as shown in the Development Schedule provided in Attachment B.

ENVIRONMENTAL:

N/A

SUMMARY:

Staff believes the applicant has made meaningful progress towards completing the necessary work to achieve development of the site. Extending DPA Case No. 1013 and MOD Case No. 1366 will keep the entitlements valid and allow the applicant to successfully reassess the project to ensure a timely and compliant development. Therefore, staff recommends extending DPA Case No. 1013 and MOD Case No. 1366 for one (1) year—until March 10, 2027—subject to the conditions of approval (Attachment C).

ATTACHMENT(S):

- A. Aerial Photograph
- B. Request for Time Extension
- C. Conditions of Approval

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>

Attachment A
Aerial Photograph
Aerial Photograph



8832 Dice Road (APN: 8168-013-027, -008)
Development Plan Approval (DPA) Case No. 1013
Modification Permit (MOD) Case No. 1366

Attachment B

Request for Time Extension

Allen Matkins

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E-mail: emurray@allenmatkins.com
Direct Dial: 213.955.5584 File Number: 393951.00003/4903-5524-4928.3

February 12, 2026

City of Santa Fe Springs Planning Commission
City of Santa Fe Springs
11710 E. Telegraph Road
Santa Fe Springs, CA 90670

**Re: Request for Extension of Development Plan Approval no. 1013 and
Modification of Property Development Standards no. 1366 - 8832 Dice
Road, Santa Fe Springs**

Dear Planning Commissioners:

Allen Matkins represents Airgas USA LLC (“**Applicant**”) in connection with previously approved entitlements for construction of storage for liquid argon (the “**Project**”) at Applicant’s existing industrial facility located at 8832 Dice Road, Santa Fe Springs (the “**Property**”). The Property consists of two parcels including APNs 8168-013-027 and 8168-013-008.

On March 10, 2025, the Planning Commission approved (i) Development Plan Approval (“**DPA**”) no. 1013, and (ii) Modification of Property Development Standards (“**MOD**”) no. 1366 for the construction of 8 partially screened tanks for storage of liquid argon, subject to the conditions of approval contained in Resolution no. 282-2025 (“**Entitlements**”). The Entitlement Approval Letter is attached as Exhibit A. The 14 day appeal period ended and the Entitlements became effective on March 24, 2025. (Santa Fe Springs Municipal Code (“**SFSMC**”) § 155.865.) Unless extended, the Entitlements are set to expire 12 months after the effective date, on March 24, 2026. (SFMC §§ 155.702; 155.745.) This letter serves as Applicant’s request for the Planning Commission to grant a 12 month extension of the Entitlements resulting in a new expiration date of March 24, 2027.

Since the Planning Commission approved the Entitlements, the Applicant has diligently pursued the Project and made progress towards utilizing the Entitlements. The Project involves the fabrication of large, custom designed and built liquid argon storage tanks and associated equipment, typically manufactured for the Applicant by China International Marine Containers (“**CIMC**”), a Chinese company. In early March of 2025, just before the Planning Commission approved the Entitlements, a significant increase in tariffs applicable to goods manufactured in China was announced. Applicant estimated that these tariffs would result in a cost increase of 90%, with additional increases possible due to changing trade policies and increased freight costs.

City of Santa Fe Springs Planning Commission
February 12, 2026
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Accordingly, the Applicant spent several months investigating whether the tanks could be manufactured in the United States or in other countries with less tariff exposure.

Between March and June of 2025, the Applicant requested proposals and discussed tank design details with eleven potential vendors in the United States, India, Spain, Turkey and China. These tanks are non-standard, non-catalog items that are custom designed and built in accordance with CGA (Compressed Gas Association), ASME Section VIII BPVC (American Society of Mechanical Engineers, Section VIII Boiler Pressure Vessel Code) and Applicant's internal design standards. Proposed configurations differ between each country and vendor. Final vendor selection and tank design includes reviewing the weld qualification procedures, manufacturing facility qualification audits, quality assurance and quality controls plans, and confirmation of independent third party hold and witness points. Fabrication of these tanks takes over 120 days, utilizing the skills and expertise of multiple teams of highly specialized trades. The complexity associated with the design and manufacturing of these tanks therefore requires careful review to ensure the end product can be safely and effectively used by Applicant. As such, each of the eleven potential vendors required several months to review design and safety specifications, discuss Applicant's Project specific needs, and assemble proposals.

By October of 2025, Applicant received final proposals from vendors across the globe. Due to the large scale of these tanks, most vendors were unable to manufacture rolled steel large enough for the Project or were unable to produce the tanks at a competitive price. By November of 2025, Applicant concluded that the original manufacturer, CIMC, remained the most cost effective option for manufacturing. Using a trusted vendor also eliminates potential safety risks and reduces shipping delays associated with new countries of origin. The Applicant has previously worked with CIMC on similar projects and their tanks are currently in operation at other of the Applicant's west coast facilities. Accordingly, despite the cost increase caused by the tariffs, Applicant is confident that this vendor will produce tanks that can be easily used by Applicant's employees and can be operated safely for years to come.

Due to this unforeseen setback and Applicant's need for reconsideration of the most cost effective and safe manufacturing option, Applicant has not yet applied for building permits and commenced construction. However, Applicant remains committed to the Project. As depicted in Development Schedule included as Exhibit B, Applicant plans to begin installation of the tanks and vest the Entitlements by March of 2027. Accordingly, we respectfully request that the Planning Commission grant a 12 month extension of the Entitlements resulting in a new expiration date of March 24, 2027.

Thank you for your assistance with the Project and we look forward to working with you on this extension. Please do not hesitate to contact me at (213) 955-5584 should you have any questions or concerns.

Allen Matkins Leck Gamble Mallory & Natsis LLP
Attorneys at Law

City of Santa Fe Springs Planning Commission
February 12, 2026

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Very truly yours,

Emily L. Murray

ELM

cc: Alejandro De Loera, AICP
Assistant Planner

Exhibit A

Entitlement Approval Letter



11710 Telegraph Road • CA • 90670-3679 • (562) 868-0511 • Fax (562) 868-7112 • www.santafesprings.gov

"A great place to live, work, and play"

March 18, 2025

Attn: Emily Murray on behalf of Airgas USA LLC
Airgas USA LLC
8832 Dice Road
Santa Fe Springs, CA 90670

Re: Development Plan Approval Case No. 1013 & Modification Permit Case No. 1366
8832 Dice Road, Santa Fe Springs, CA 90670

Dear Emily Murray,

The Planning Commission, at their meeting on March 10, 2025, approved the following entitlements:

Development Plan Approval Case No. 1013 and Modification Permit Case No. 1366, subject to the conditions of approval as contained within Resolution No. 282-2025.

The Zoning Code sets forth an appeal period of fourteen (14) days, beginning with the date of the Commission's action, during which any party aggrieved by the Commission's action can appeal the matter to the City Council. You are hereby notified that the time within which judicial review must be sought is governed by the provisions of California Code of Civil Procedure, Section 1094.6.

If you have any questions, please call Alejandro De Loera, Assistant Planner, at (562) 868-0511 x7358, or E-Mail AlejandroDeLoera@santafesprings.gov.

Sincerely,

Cuong Nguyen
Director of Community Development

CITY OF SANTA FE SPRINGS
RESOLUTION NO. 282-2025

**A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SANTA FE SPRINGS REGARDING
DEVELOPMENT PLAN APPROVAL (DPA) CASE NO. 1013; AND
MODIFICATION PERMIT (MOD) CASE NO. 1366**

WHEREAS, a request was filed for DPA Case No. 1013 to construct eight (8) 53' tall metal tanks for the storage of liquid argon; and

WHEREAS, a request was filed for MOD Case No. 1366 to partially screen the proposed metal tanks; and

WHEREAS, the subject property is located on the east side of Dice Road, at 8832 Dice Road, with Assessor Parcel Numbers of 8168-013-008, -027, as shown in the latest rolls of the Los Angeles County Office of the Assessor; and

WHEREAS, the property owner is Airgas USA LLC, 259 North Radnor Chester Road, PA 19087; and

WHEREAS, the applicant is Emily Murray, on behalf of Airgas USA LLC.; and

WHEREAS, the proposed project which includes DPA Case No. 1013 and MOD Case No. 1366 is considered a project as defined by the California Environmental Quality Act (CEQA), Article 20, Section 15378(a); and

WHEREAS, based on information provided by the applicant and staff's assessment, it was determined that the project will not have significant adverse effect on the environment, and therefore the project qualifies for a categorical exemption from CEQA, specifically under CEQA Guidelines Section 15303, Class 3 (New Construction or Conversion of Small Structures) and Section 15311, Class 11 (Accessory Structures); and

WHEREAS, the City of Santa Fe Springs Community Development Department on February 28, 2025 published a legal notice in the *Los Cerritos Community Newspaper*, a local newspaper of general circulation, indicating the date and time of the public hearing, and also mailed said public hearing notice on February 27, 2025 to each property owner within a 500-foot radius of the project site in accordance with state law; and

WHEREAS, the City of Santa Fe Springs Planning Commission has considered the application package, the written and oral staff report, the General Plan, and zoning of the subject property, the testimony, written comments, or other materials presented at the Planning Commission meeting on March 10, 2025 concerning DPA Case No. 1013 and MOD Case No. 1366.

NOW, THEREFORE, be it RESOLVED that the PLANNING COMMISSION of the CITY OF SANTA FE SPRINGS does hereby RESOLVE, DETERMINE and ORDER AS FOLLOWS:

SECTION I. RECITALS

Based on staff presentations, testimony, and all other evidence presented to the Planning Commission during the noticed public hearing of this matter, the Planning Commission hereby finds and declares that the foregoing recitals are true and correct and expressly incorporates them as substantive findings into this Resolution.

SECTION II. ENVIRONMENTAL FINDINGS AND DETERMINATION

pursuant to Sections 15303, Class 3 (New Construction or Conversion of Small Structures) and Section 15311, Class 11 (Accessory Structures), of the California Environmental Quality Act (CEQA), the Planning Commission hereby finds and determines that the proposed project involves the construction and partial screening of eight (8) 53-foot metal tanks for the storage of liquid argon. Additionally, the proposed metal tanks are ancillary to the existing use and primary structures on-site. No additional building square footage is proposed, and the use will remain unchanged. Furthermore, the project site is not listed on the Hazardous Waste and Substance Site List (Cortese List) as set forth in Government Code Section 65962.5. Therefore, no additional environmental analysis is required under CEQA.

SECTION III. DEVELOPMENT PLAN APPROVAL FINDINGS

Pursuant to Section 155.739 of the City of Santa Fe Springs Zoning Code, the Planning Commission shall consider the following findings in their review and determination of the subject Development Plan Approval. Based on the available information, the City of Santa Fe Springs Planning Commission hereby makes the following findings:

- (A) *That the proposed development is in conformance with the overall objectives of this chapter.*

The proposed project is located within the M-2 (Heavy Manufacturing) Zone. Pursuant to Section 155.240 of the Zoning Code, "The purpose of the M-2 Zone is to preserve the lands of the city appropriate for heavy industrial uses, to protect these lands from intrusion by dwellings and inharmonious commercial uses, to promote uniform and orderly industrial development, to create and protect property values, to foster an efficient, wholesome and aesthetically pleasant industrial district, to attract and encourage the location of desirable industrial plants, to provide an industrial environment which will be conducive to good employee relations and pride on the part of all citizens of the community and to provide proper safeguards and appropriate transition for surrounding land uses."

The proposed project demonstrates consistency with the objectives of the M-2 Zone through the following points:

1. The proposed project demonstrates consistency with the objectives of the M-2 Zone primarily by reaffirming the site as a heavy industrial use that is appropriate for the zone.
2. The proposed metal tanks are sited appropriately at a location that is surrounded by other M-2 zone properties and provides appropriate safeguards from any sensitive land uses.
3. The proposed project is unlikely to negatively impact any existing or proposed industrial developments or to decrease property values.

(B) *That the architectural design of the proposed structures is such that it will enhance the general appearance of the area and be in harmony with the intent of this chapter.*

The proposed metal tanks will have a neutral design and be painted a white tone. Any additional changes to enhance the visual design of the tanks could compromise the safety of the liquid argon or the structural integrity of the metal tanks. The applicant has proposed a location on the site that aligns with the chapter's intent to enhance the general appearance of the area by minimizing the visual impact of the tanks from the public view.

(C) *That the proposed structures be considered on the basis of their suitability for their intended purpose and on the appropriate use of materials and on the principles of proportion and harmony of the various elements of the buildings or structures.*

The proposed metal tanks selected were selected based on their suitability to safely contain and store liquid argon. They have been strategically placed approximately 400' from Dice Road and approximately 600' from Sorensen Avenue, ensuring a considerable distance from public view. These setbacks will reduce the visual scale of the tanks and create more harmony with the surrounding area.

(D) *That consideration be given to landscaping, fencing and other elements of the proposed development to ensure that the entire development is in harmony with the objectives of this chapter.*

The applicant has carefully considered the location and design of the proposed tanks. Additionally, typical screening methods are not practical for this project due to the tanks' limited visibility from the public right-of-way. The proposed tanks have been strategically placed approximately 400' from Dice Road and approximately 600' from Sorensen Avenue, ensuring a considerable distance from public view. Furthermore, additional landscape screening is not practical for the site, though the existing landscaping along Dice Road will provide some visual relief. As a result, painting the tanks in a neutral white tone is the most viable solution. As

such, the overall project will be in harmony with the existing development and aligns with the objectives of this chapter.

- (E) That it is not the intent of this subchapter to require any particular style or type of architecture other than that necessary to harmonize with the general area.

The subject metal tanks will be painted a white tone to maintain a cohesive design. The project does not involve the construction of new buildings and/or walls. As a result, the proposed improvements will blend with the existing building and surrounding area.

- (F) That it is not the intent of this subchapter to interfere with architectural design except to the extent necessary to achieve the overall objectives of this chapter.

As evident from previous findings, there have been considerable discussions with the applicant regarding the placement and screening of the proposed metal tanks to ensure they blend with the existing building and surrounding area while minimizing any adverse effects on nearby properties. The Planning Commission believes the applicant has made a noteworthy effort to design and position tanks in a manner that would help minimize their view from the public right-of-way.

- (G) As a means of encouraging residential development projects to incorporate units affordable to extremely low income households and consistent with the city's housing element, the city will waive Planning Department entitlement fees for projects with a minimum of 10% extremely low income units. For purposes of this section, extremely low income households are households whose income does not exceed the extremely low-income limits applicable to Los Angeles County, as published and periodically updated by the state's Department of Housing and Community Development Pursuant Cal. Health and Safety Code § 50106.

The Planning Commission finds that the proposed project is not a residential development; therefore, the requirements pertaining to low-income units do not apply.

SECTION IV: MODIFICATION PERMIT FINDINGS

Pursuant to Section 155.695 of the City of Santa Fe Springs Zoning Code, the Planning Commission shall consider the following findings in their review and determination of the subject Modification Permit. Based on the available information, the City of Santa Fe Springs Planning Commission hereby make the following findings:

- A) That the granting of the modification would not grant special privileges to the applicant not enjoyed by other property owners in the area.

The Planning Commission would not be granting special privileges to the applicant since similar requests have been granted in the past. The chart provided below

identifies similar Modification Permits granted for partial screening of storage equipment.

Previous Metal Tank Screening Modifications

Case No.	Site Address	Request	Date Approved
MOD 1322	10747 Patterson Pl.	Screening Reduction	May 2020
MOD 1260	9051 Sorenson Ave.	Screening Reduction	February 2016
MOD 1259	10643 Norwalk Blvd.	Screening Reduction	February 2016

- B) That the subject property cannot be used in a reasonable manner under the existing regulations.

If the same volume of tanks were configured differently to allow for better screening (e.g., horizontal instead of vertical), the site would be unable to comply with required fire access requirements, maintain the necessary number of parking stalls, and ensure proper proximity of the tanks to the existing rail spur. Requiring the applicant to fully comply with the screening regulations of the Zoning Code could result in unreasonable operational constraints, such as tanks encroaching on fire access lanes or designated parking areas.

- C) That the hardship involved is due to unusual or unique circumstances.

The property's unique location adjacent to a railroad crossing, combined with the storage requirements for liquid argon, limits the applicant's ability to further screen the proposed tanks from view. To minimize visual impacts, the tanks are proposed at the center of the site, which provides the least intrusive placement. Existing landscaping along the Dice Road frontage will also help screen the tanks from public view.

While the proposed location and existing landscaping provide significant screening, a portion of the tanks will remain visible. Additional screening, such as landscaping or structural coverings, is not feasible. Although liquid argon can be safely stored in the proposed metal tanks, enclosing them could create a suffocation risk. Furthermore, tank manufacturers do not recommend attaching, welding, or affixing any structures or coverings to the tanks.

- D) That the modifications, if granted, would not be detrimental to other persons or properties in the area nor be detrimental to the community in general.

If approved, this modification would allow the proposed metal tanks to be constructed without screening. The tanks will not cause any negative impacts on neighboring properties or the community. Liquid argon is a safe, non-reactive, and non-flammable substance that poses no health or safety risks when stored

properly. The additional storage is intended to ensure a reliable supply of industrial coolant for local customers in event of supply chain disruptions. As the tanks align with the industrial character of the area and do not create significant visual impacts, the modification would not have any unreasonable effects on the surrounding environment.

In addition, pursuant to Section 155.696 of the City's Zoning Code, the Commission shall also take into consideration the following factors in making a determination as to whether or not there are practical difficulties or hardships involved:

- A) *That there are particular physical circumstances due to the shape or condition of the property which result in a hardship under the existing regulations, as distinguished from a mere inconvenience.*

The property's unique location adjacent to a railroad crossing, combined with the storage requirements for liquid argon, limits the applicant's ability to further screen the proposed tanks from view. To minimize visual impacts, the tanks are proposed at the center of the site, which provides the least intrusive placement. Existing landscaping along the Dice Road frontage will also help screen the tanks from public view.

- B) *That the purpose of the modification is not based exclusively on the financial advantage to the owner.*

The modification is requested primarily because of safety reasons, not financial ones. While the proposed location and existing landscaping provide significant screening, a portion of the tanks will remain visible. Additional screening, such as landscaping or structural coverings is not feasible due to safety concerns. Although liquid argon can be safely stored in the proposed metal tanks, enclosing them could create a suffocation risk. Furthermore, tank manufacturers advise against attaching, welding, or affixing any structures or coverings to the tanks, as this could compromise their integrity and safety.

- C) *That the alleged difficulties were not created by any person presently having an interest in the property.*

The requirements for the safe storage of liquid argon and the use of metal tanks are not determined by the applicant but rather by regulatory and safety standards. The applicant has designed the proposed project to comply with regulations from the City's Community Development and Fire-Rescue Departments, industry standards for argon storage, and the manufacturing specifications of the selected metal tanks.

- D) *That the conditions involved are not generally applicable to most of the surrounding properties.*

The property is unique in that it must prioritize access and circulation of for both people and vehicles around the proposed chemical storage tanks and throughout the site. The site also has an existing rail spur that disrupts other alternative circulation patterns, further limiting placement options. As such, the applicant has few viable locations where they can locate the proposed metal tanks. The selected location is the best suited spot to minimize the impact of the tanks on existing site operations.

- E) That the requested modification would not diminish property values in the neighborhood.

The site is located in a heavy industrial area surrounded by properties that also contain various forms of chemical storage. The proposed partially screened metal tanks have been strategically placed near the center of the site to minimize their visibility from public areas. Additionally, existing tree coverage along Dice Road will provide further visual relief. Given these factors, the project is not expected to negatively impact property values in the surrounding area.

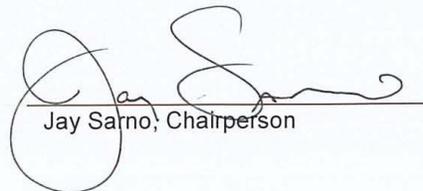
- F) That the requested modification will not increase congestion or endanger the public safety.

The proposed modification does not remove any existing parking stalls, add building area, or expected to increase the need for additional employees. Therefore, the proposed project will not impact traffic or contribute to congestion.

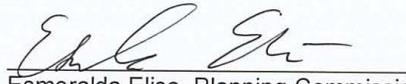
SECTION IV. PLANNING COMMISSION ACTION

The Planning Commission hereby adopts Resolution No. 282-2025, to find and determine that the proposed project is categorically exempt pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3 (New Construction or Conversion of Small Structures) and Section 15311, Class 11 (Accessory Structures); approve Development Plan Approval Case No. 1013; and Modification Permit Case No. 1366, subject to conditions attached hereto as Exhibit A.

ADOPTED and APPROVED this 10th day of March 2025 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE SPRINGS.


Jay Sarno, Chairperson

ATTEST:

A handwritten signature in black ink, appearing to read 'Esmeralda Elise', written over a horizontal line.

Esmeralda Elise, Planning Commission Secretary

Resolution No. 282-2025 – Attachments:
Exhibit A - Conditions of Approval

Exhibit A – Conditions of Approval
Development Plan Approval (DPA) Case No. 1013 &
Modification Permit (MOD) Case No. 1366

DEPARTMENT OF FIRE - RESCUE (FIRE PREVENTION DIVISION)
(Contact: Kevin Yang 562.868-0511 x3811)

1. Prior to issuance of Building Permit, the applicant shall provide the Santa Fe Springs Department of Fire-Rescue with a site plan for fire lanes and signage.
2. That the standard aisle width for onsite emergency vehicle maneuvering shall be 26 feet with a minimum clear height of 13 feet 6 inches. Internal driveways shall have a turning radius of not less than 52 feet. The final location and design of this 26 feet shall be subject to the approval of the City's Fire Chief as established by the California Fire Code. A request to provide emergency vehicle aisle width less than 26 feet shall be considered upon the installation/provision of mitigation improvements approved by the City's Fire Chief.
3. That interior gates or fences are not permitted across required access roadways unless otherwise granted prior approval by the Santa Fe Springs Department of Fire-Rescue.
4. Prior to construction, all traffic calming designs/devices must be approved by the Santa Fe Springs Department of Fire-Rescue.

DEPARTMENT OF FIRE - RESCUE (ENVIRONMENTAL DIVISION)
(Contact: Eric Scott 562.868-0511 x3812)

5. Permits and approvals. That the applicant shall, at its own expense, secure or cause to be secured any and all permits or other approvals which may be required by the City and any other governmental agency prior to conducting environmental assessment or remediation on the property. Permits shall be secured prior to beginning work related to the permitted activity.
6. That all abandoned pipelines, tanks and related facilities shall be removed unless approved by the City Engineer and Fire Chief. Appropriate permits for such work shall be secured before abandonment work begins.
7. That the applicant shall comply with all Federal, State and local requirements and regulations included, but not limited to, the Santa Fe Springs City Municipal Code, California Fire Code, Certified Unified Program Agency (CUPA) programs, the Air Quality Management District's Rules and Regulations and all other applicable codes and regulations.

POLICE SERVICES DEPARTMENT:

(Contact: Kristen Haining 562.409.1850 x3302)

8. That the Applicant shall submit and obtain approval of a proposed security plan for the property from the City's Department of Police Services. The security plan shall be submitted to the Director of Police Services no later than sixty (60) days from the date of approval by the Planning Commission.
9. That the Applicant shall submit an Emergency Notification Form to the Department of Police Services no later than sixty (60) days from the date of approval by the Planning Commission.
10. That in order to facilitate the removal of unauthorized vehicles parked on the property, the Applicant shall post, in plain view and at each entry to the property, a sign not less than 17" wide by 22" long. The sign shall prohibit the public parking of unauthorized vehicles and indicate that unauthorized vehicles will be removed at the owner's expense and also contain the California Vehicle Code that permits this action. The sign shall also contain the telephone number of the local law enforcement agency (Whittier Police Department 562-567-9240). The lettering within the sign shall not be less than one inch in height. The Applicant shall contact the Police Services Center for an inspection no later than thirty (30) days after the project has been completed and prior to the occupancy permit being issued.
11. Parking facilities, including parking lot, parking stalls, and driveways, shall be properly maintained at all times. The paving on the site shall be maintained free of pot-holes or other similar damage. The Applicant shall make repairs within 72-hours of identifying any pavement deficiencies, wear, or deterioration. All parking markings (striping and directional arrows, etc.) shall be legible at all times. Should any markings become faded or illegible, Applicant must re-paint and/or repair accordingly. Ensure off-street parking areas are not reduced or encroached upon at any time.
12. Property must be properly maintained at all times. Ensure trash enclosure is secured, and trash container lids are closed at all times. All trash must be disposed of in approved containers.
13. Maintain landscaping on the property at all times. Perform routine maintenance to ensure all landscaped areas are in compliance with SFSMC §155.549.

WASTE MANAGEMENT:

(Contact: Joe Barrios 562.868-0511 x7342)

14. The applicant shall comply with Section 50.51 of the Municipal Code which prohibits any business or residents from contracting any solid waste disposal company that does not hold a current permit from the City.

15. All projects are subject to the requirements of Chapter 50 to reuse or recycle 75% of the project waste. For more information, please contact the City's Environmental Consultant, MuniEnvironmental at (562) 432-3700.
16. The applicant shall comply with Public Resource Code, Section 42900 et seq. (California Solid Waste Reuse and Recycling Access Act of 1991) as amended, which requires each development project to provide adequate storage area for the collection/storage and removal of recyclable and green waste materials.

COMMUNITY DEVELOPMENT DEPARTMENT:
(Contact: Alejandro De Loera 562.868-0511 x7358)

17. The development shall otherwise be substantially in accordance with the plot plan and elevations submitted by the applicant and on file with the case.
18. The final plot plan and elevations of the proposed development and all other appurtenant improvements, textures and color schemes shall be subject to the final approval of the Community Development Director.
19. All other requirements of the City's Zoning Code, Building Code, Property Maintenance Ordinance, State and City Fire Code and all other applicable County, State and Federal regulations and codes shall be complied with.
20. The applicant shall obtain all necessary Building Permits and related approvals from the Building, Community Development and Fire-Rescue Departments for the proposed improvements.
21. Applicant shall be responsible for reviewing and/or providing copies of the required conditions of approval to his/her architect, engineer, contractor, tenants, etc. Additionally, the conditions of approval contained herein, shall be made part of the construction drawings for the proposed development. *Construction drawings shall not be accepted for Plan Check without the conditions of approval incorporated into the construction drawings.*
22. All lighting, fences, walls, and tanks shall be maintained by the applicant in good repair, free from trash, debris, litter and graffiti and other forms of vandalism. Any damage from any cause shall be repaired within 24 hours of occurrence, weather permitting, to minimize occurrences of dangerous conditions or visual blight. Paint utilized in covering graffiti shall be a color that matches, as closely possible, the color of the adjacent surfaces.
23. Applicant shall require and verify that all contractors and sub-contractors have successfully obtained a Business License with the City of Santa Fe Springs prior to beginning any work associated with the subject project. A late fee and penalty will be assessed to any contractor or sub-contractor that fails to obtain a Business License and a Building Permit final or Certificate of Occupancy will not be issued until all fees and

penalties are paid in full. A business license application can be accessed online at <https://santafesprings.hdlgov.com>.

24. Prior to or otherwise concurrent with the issuance of Building Permits, the applicant shall obtain an Office Trailer Permit for the use of mobile office trailers during the construction process.
25. The applicant shall be responsible for ensuring that information contained in construction drawings and/or landscape & irrigation plans are consistent among architectural, structural, electrical, mechanical, plumbing, fire, utility and public improvement plans as well as other civil drawings. This responsibility may be transferred by the applicant to the project architect. While the City aims to correct inconsistencies, it is the ultimate responsibility of the applicant/project architect to remedy, up to and including completion of construction revisions prior to receiving final occupancy approvals.
26. Prior to issuance of building permits, the applicant shall comply with the following conditions to the satisfaction of the City of Santa Fe Springs:
 - a. Covenants.
 1. Applicant shall provide a written covenant to the Community Development Department that, except as owner/developer may have otherwise disclosed to the City, Commission, Planning Commission or their employees, in writing, owner/developer has investigated the environmental condition of the property and does not know, or have reasonable cause to believe, that (a) any crude oil, hazardous substances or hazardous wastes, as defined in state and federal law, have been released, as that term is defined in 42 U.S.C. Section 9601 (22), on, under or about the Property, or that (b) any material has been discharged on, under or about the Property that could affect the quality of ground or surface water on the Property within the meaning of the California Porter-Cologne Water Quality Act, as amended, Water Code Section 13000, et seq
 2. Applicant shall provide a written covenant to the City that, based on reasonable investigation and inquiry, to the best of applicant's knowledge, it does not know or have reasonable cause to believe that it is in violation of any notification, remediation or other requirements of any federal, state or local agency having jurisdiction concerning the environmental conditions of the Property.
 - b. Applicant understands and agrees that it is the responsibility of the applicant to investigate and remedy, pursuant to applicable federal, state and local law, any and all contamination on or under any land or structure affected by this approval and issuance of related building permits. The City, Commission, Planning Commission or their employees, by this

approval and by issuing related building permits, in no way warrants that said land or structures are free from contamination or health hazards.

- c. Applicant understands and agrees that any representations, actions or approvals by the City, Commission, Planning Commission or their employees do not indicate any representation that regulatory permits, approvals or requirements of any other federal, state or local agency have been obtained or satisfied by the applicant and, therefore, the City, Commission, Planning Commission or their employees do not release or waive any obligations the applicant may have to obtain all necessary regulatory permits and comply with all other federal, state or other local agency regulatory requirements. Applicant, not the City, Commission, Planning Commission or their employees will be responsible for any and all penalties, liabilities, response costs and expenses arising from any failure of the applicant to comply with such regulatory requirements.
27. No portion of the required off-street parking and driveway areas shall be used for outdoor storage of any type or for special-event activities, unless prior written approval is obtained from the Director of Community Development, Director of Police Services, and Fire Marshall.
80. A minimum of 73 off-street parking stalls shall be provided and continually maintained at all times.
28. Applicant shall comply with the City's "Heritage Artwork in Public Places Program" in conformance with City Ordinance No. 1054.
29. The applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. In addition, the applicant shall reimburse the City, its officials, officers, employees, agents, departments, agencies, for any Court costs and attorney's fees which the City, its agents, officers, or employees may be required by a court to pay as a result of such action. It is expressly agreed that the City shall have the right to approve,

Exhibit B

Development Schedule

Timeline	Task	Duration	Notes
January 9, 2026 – August 20, 2026	Engineering	7.5 months	Includes internal design review and revisions of vendor's engineering proposals
June 25, 2026 – February 25, 2027	Procurement	8 months	Includes fabrication, testing, and shipping tanks from China. Fabrication can begin once engineering is approximately 60% complete
August 21, 2026- October 20, 2026	Prepare and Submit Building Permit Application	60 days	Preparation of application package can begin once Engineering is complete
October 21, 2026 - January 19, 2027	Plan Check	45-90 days	Includes 2 rounds of comments
January 20, 2027 – January 30, 2027	Permit issuance	10 days	Includes clearance of conditions and payment of fees
January 31, 2027 - February 10, 2026	Demolish existing concrete	2 weeks	
February 11, 2027 – March 4, 2027	Form, rebar pour, and cure new concrete	3 weeks	
March 5, 2027 – May 28, 2027	Tank installation	12 weeks	Includes piping and electrical work

Attachment C

Conditions of Approval

Exhibit A – Conditions of Approval
Development Plan Approval (DPA) Case No. 1013 &
Modification Permit (MOD) Case No. 1366

DEPARTMENT OF FIRE - RESCUE (FIRE PREVENTION DIVISION)
(Contact: Kevin Yang 562.868-0511 x3811)

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 - b. Applicant understands and agrees that it is the responsibility of the applicant to investigate and remedy, pursuant to applicable federal, state and local law, any and all contamination on or under any land or structure affected by this approval and issuance of related building permits. The City, Commission, Planning Commission or their employees, by this approval

and by issuing related building permits, in no way warrants that said land or structures are free from contamination or health hazards.

- c. Applicant understands and agrees that any representations, actions or approvals by the City, Commission, Planning Commission or their employees do not indicate any representation that regulatory permits, approvals or requirements of any other federal, state or local agency have been obtained or satisfied by the applicant and, therefore, the City, Commission, Planning Commission or their employees do not release or waive any obligations the applicant may have to obtain all necessary regulatory permits and comply with all other federal, state or other local agency regulatory requirements. Applicant, not the City, Commission, Planning Commission or their employees will be responsible for any and all penalties, liabilities, response costs and expenses arising from any failure of the applicant to comply with such regulatory requirements.
27. No portion of the required off-street parking and driveway areas shall be used for outdoor storage of any type or for special-event activities, unless prior written approval is obtained from the Director of Community Development, Director of Police Services, and Fire Marshall.
28. A minimum of 73 off-street parking stalls shall be provided and continually maintained at all times.
29. Applicant shall comply with the City's "Heritage Artwork in Public Places Program" in conformance with City Ordinance No. 1054.
30. The applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. In addition, the applicant shall reimburse the City, its officials, officers, employees, agents, departments, agencies, for any Court costs and attorney's fees which the City, its agents, officers, or employees may be required by a court to pay as a result of such action. It is expressly agreed that the City shall have the right to approve, which approval will not be

unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any such claim, action or proceeding, and shall cooperate fully in the defense thereof.

31. That the applicant understands and agrees that this approval is subject to modification or revocation as set forth in the Santa Fe Springs Municipal Code. Grounds for modification or revocation include, but are not limited to, Applicant's failure to comply with any condition of approval contained herein.
32. That the applicant understands and agrees that if any term or condition of this approval is determined in whole or in part to be invalid or unenforceable, such determination shall not affect the validity or enforceability of any other term or condition contained herein.
33. Applicant understands if changes to the original plans (submitted and on file with the subject case) are required during construction, revised plans must be provided to the planning department for review and approval prior to the implementation of such changes. Please note that certain changes may also require approvals from other departments.
34. If there is evidence that these conditions of approval have not been fulfilled or the use has or have resulted in a substantial adverse effect on the health, and/or general welfare of users of adjacent or proximate property, or have a substantial adverse impact on public facilities or services, the Community Development Director may refer the DPA and/or MOD back to the Planning Commission for review. If upon such review, the Commission finds that any of the results above have occurred, the Commission may modify or revoke the DPA and/or MOD.
35. **Unless otherwise specified in the action of granting a Development Plan Approval, said approval which has not been utilized within a period of 12 consecutive months from the effective date shall become null and void. Also, the abandonment or nonuse of a Development Plan Approval for a period of 12 consecutive months shall terminate said Development Plan Approval and any privileges granted thereunder shall become null and void. However, an extension of time may be granted by Commission or Council action.**



CITY OF SANTA FE SPRINGS

PLANNING COMMISSION AGENDA STAFF REPORT

TO: Members of the Planning Commission

FROM: Cuong Nguyen, Director of Community Development

BY: Kaden Likins, Planning Consultant

SUBJECT: PUBLIC HEARING – DEVELOPMENT PLAN APPROVAL (“DPA”) CASE NO. 1017 FOR EXTERIOR IMPROVEMENTS INCLUDING ONE (1) NEW 24’-TALL COOLING TOWER, THREE (3) NEW WASTE WATER STORAGE TANKS WITHIN A NEW 26’-8”-TALL METAL CANOPY STRUCTURE, TWO (2) NEW 31’-2”-TALL AND FOUR (4) NEW 19’-5”-TALL METAL TANKS FOR THE STORAGE OF MILK, ONE (1) NEW GLYCOL SYSTEM WITH ONE (1) NEW 12’-2”-TALL TANK, ONE (1) NEW 14’-TALL AMMONIA DIFFUSION TANK, ONE (1) NEW STORAGE TANK ALCOVE STRUCTURE, ONE (1) NEW METAL CANOPY EXTENSION OVER TANKERS, NEW REFRIGERATION EQUIPMENT AND FOUNDATIONAL FOOTINGS FOR THREE (3) FUTURE 20,000 GALLON TANKS UNDER A SEPARATE PERMIT; MODIFICATION PERMIT (“MOD”) CASE NO. 1375 TO ALLOW PARTIAL SCREENING OF THE PROPOSED TANKS AT 12809 BUSCH PLACE; AND DETERMINATION OF CEQA EXEMPTION

DATE: February 18, 2026

RECOMMENDATION(S)

It is recommended that the Planning Commission:

- 1) Open the Public Hearing, receive the written and oral reports, and take any public comments regarding Development Plan Approval (“DPA”) Case No. 1017 and Modification Permit (“MOD”) Case No. 1375, and thereafter, close the Public Hearing; and
- 2) Find and determine that pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures) and Section 15311, Class 11 (Accessory

Structures) of the California Environmental Quality Act (“CEQA”), the project is Categorically Exempt; and

- 3) Approve DPA Case No. 1017 and MOD Permit Case No. 1375, subject to the conditions of approval as contained within Resolution No. 313-2026; and
- 4) Adopt Resolution No. 313-2026, which incorporates the Planning Commission’s findings and actions regarding this matter; and
- 5) Take such additional, related actions that may be desirable.

FISCAL IMPACT:

Aside from the processing fees collected for the DPA and MOD application, there is no ongoing fiscal impact anticipated.

BACKGROUND:

On January 12, 2026, Rick Ramirez of Rex Creamery, on behalf of LBA NCC – Company XVL, LLC, (“Applicant”) submitted a request for a Development Plan Approval (DPA Case No. 1017) and Modification Permit (MOD Case No. 1375) to construct and partially screen six milk storage tanks ranging from 19’-5” to 31’-2” in height, three new wastewater treatment storage tanks within a new 26’-8”-tall, 1,219 square foot, metal canopy, one new 24’-tall cooling tower, one new 14’-tall ammonia diffusion tank, one new 12’-2”-tall glycol tank and system, one new 1,677 square foot storage tank alcove structure, one new 378 square foot metal canopy extension over tankers, new refrigeration equipment and three foundational footings for three future 20,000 gallon tanks (future tanks under separate permit). The proposed DPA is located at the applicants’ existing industrial facility located at 12809 Busch Place (“Project Site”). The proposed project requires the following entitlements:

Development Plan Approval Case No. 1017: To construct the following:

- One (1) new 24’- tall cooling tower
- Three (3) new wastewater tanks within a new 26’-8”- tall metal canopy structure
- Two (2) new 31’-2”- tall and four (4) new 19’-5”- tall metal tanks for the storage of milk
- One (1) new glycol system with one (1) new 12’-2”- tall tank
- One (1) new 14’- tall ammonia diffusion tank
- One(1) new storage tank alcove structure
- One (1) new metal canopy extension over tankers
- New refrigeration equipment within the existing refrigeration equipment room
- Foundational footings for three (3) future 20,000 gallon tanks under a separate permit.

Modification Permit Case No. 1375: To partially screen the proposed tanks.

Previously Approved Entitlements

- Tentative Parcel Map No. 12327 – approval of Tentative Parcel Map Number 12327 dividing approximately 21.65 acres of land into six parcels on property located in the M-2 zone within the Norwalk Boulevard Redevelopment Project (July 1979); and
- Development Plan Approval Case No. 287 and Modification Permit No. 643 – approval of a new concrete tilt-up industrial building and modification of striping a portion of the required off-street parking spaces in conjunction with the said building (September, 1979); and
- Conditional Use Permit Case No. 329 – approval to allow the establishment, operation, and maintenance of a trucking facility (October 1980); and
- Modification Permit Case No. 1063 – approval to not provide a portion of the off-street required parking spaces within the Consolidated Redevelopment Project (August, 1996);

The proposed project does not violate or affect any of the existing approved entitlements for the site.

Project/Applicant Information

Project Site: 12809 Busch Place (APN: 8167-001-031)

Project Applicant: Rick Ramirez on behalf of LBA NCC – Company XVL, LLC

Property Owner: LBA NCC – Company XVL, LLC

General Plan Designation: Industrial

Zoning Designation: M-2 (Heavy Manufacturing) Zone

Existing Use on Property: Industrial dairy creamery distributor

Business Background

LBA NCC – Company XVL, LLC, also known as Rex Creamery, has operated at its current location since 2025. The Rex Creamery processing facility will receive, process, and package raw milk into finished products such as pasteurized milk, cream, yogurt, and ice cream mix. Wastewater is produced throughout the operation as a result of equipment rinsing, line flushing, product losses, and facility washdowns. Raw milk is delivered daily

by insulated tanker trucks and offloaded into storage tanks, ranging from 26,000 to 53,000 gallons per day.

Surrounding Land Uses

Direction	Zone District	General Plan	Use
West	M-2 – Heavy Manufacturing, Zone	Industrial	Flooring Wholesale
East	M-2 – Heavy Manufacturing, Zone	Industrial	Multiple light manufacturing
North	City of Whittier	N/A	Warehouse
South	M-2 – Heavy Manufacturing, Zone	Industrial	Warehouse

ANALYSIS:

Project Site

The Project Site is located adjacent to the south of the Southern Pacific Railroad, west of Greenleaf Avenue, and east of Satna Fe Springs Road. It is comprised of one parcel (APN: 8167-001-031) and spans 3.88 acres. The area is surrounded by heavy industrial uses.

Business Plan

The Applicant is proposing to continue operating the existing industrial creamery use. The addition of metal tanks for milk storage will not change or affect the current use of the site.

Rex Creamery will receive, process, and package raw milk into finished products such as pasteurized milk, cream, yogurt, and ice cream mix. The operation consists of interconnected steps, each utilizing specific raw materials and generating wastewater with characteristic flows and loads. Primary inputs include raw milk, process water, cleaning agents, sanitizers, and ingredients. Wastewater is produced throughout the operation as a result of equipment rinsing, line flushing, product losses, and facility washdowns.

Raw milk is delivered daily by insulated tanker trucks and offloaded into storage tanks. The quantity of milk received varied from 26,000 to 53,000 gallons per day, depending on production schedules. Once milk is pasteurized, it is cooled, homogenized, and directed to filling lines for packaging. Yogurt and ice cream production involve the addition of starter cultures, ingredients, flavors, and sugars, depending on the product type. Wastewater arises from rinsing and filling equipment product losses, containers rinsing, equipment cleaning, floor and wall washdowns, and cooling tower and boiler blowdowns. Operations produce wastewater of variable intensities, typically containing detergents, suspended solids, and minor amounts of milk residues. The wastewater facility will

neutralize the Ph in the wastewater prior to discharge into the City system. The wastewater storage tanks will regulate the discharge flow rate to operate within limits.

Site Plan

The site plan consists of the existing facilities, with the proposal to construct one new 24'-tall cooling tower, three new wastewater tanks within a new 26'-8", 1,219 square foot, tall metal canopy structure, two new 31'-2"- tall and four new 19'-5"- tall milk storage tanks, one new glycol system with one new 12'-2"- tall tank, one new 14'- tall ammonia diffusion tank, one new 1,677 square foot storage tank alcove structure, one new 378 square foot metal canopy extension over tankers, new refrigeration equipment and foundational footings for three (3) future 20,000 gallon tanks, in which the future tanks would be under a separate permit. The proposed additions to the site will mostly be located in the northwest corner of the existing site. The applicant will remove an existing rail spur north of the building and replace it with compacted gravel and install a new chain link fence, under Building Permit Number B25-2270. The new cooling tower, ammonia diffusion tank, and glycol system and tank will be placed north of the building in the new gravel area, approximately 31'-1" from the northern property line. The new storage tanks and alcove structure are proposed on the northwest corner of the building, facing away from Busch Place and adjacent to the Union Pacific Railroad. The tanks will be partially screened by the building and fully out of the public right-of-way line of sight from Busch Place. The wastewater storage will be partially enclosed with the metal canopy, placed in the southeast corner of the existing building, and setback 51'-10" from the western property line and 70'-4" from the southern property line along Busch Place.

The placement was carefully selected to:

- Maintain compliance with existing fire access requirements;
- Preserve all required parking stalls;
- Reduce visual impact from both Busch Place Road and Greenleaf Avenue;
- Optimize proximity to the existing rail spur for efficient loading and offloading of milk shipments.

The Project includes approximately 3,274 additional square feet to be added to the existing building. These additions will include the new alcove structure to support the operational process and screen the proposed storage tanks, the metal canopy above the proposed wastewater storage system tanks, and the canopy extension over tankers. The building additions will provide additional screening of the proposed tanks, as well as provide safe access to and proper use of the proposed tanks. Specifically, the proposed alcove is built to protect the product within the tanks from exterior contamination, being an unmanned operation room. The people who do enter the alcove will only be authorized personnel to make connections for tank cleaning or maintenance personnel when required.

Floor Plan

The Project includes approximately 3,274 additional square feet to be added to the existing building. These additions will include the new alcove structure to operate and screen the proposed storage tanks, the metal canopy above the proposed wastewater storage system tanks, and the canopy extension over tankers. The proposed alcove is 1,677 square feet and located off the northwest portion of the building. The wastewater canopy is approximately 1,219 square feet and extends off the southwestern portion of the building. The canopy extending over the tankers is approximately 378 square feet and is located above the existing garage doors on the western side of the building. The new tanks are to be dispersed around the new alcove structure for safe operations of the tanks. The smaller 5,000-gallon tanks are proposed to be closest to the existing building on the north and south of the new alcove. West of the 5,000-gallon tanks will be a 20,000-gallon tank to the south of the new alcove, and a 10,000-gallon tank to the north of the new alcove. Adjacent to the west will be a 10,000-gallon tank to the south of the new alcove and a 20,000-gallon tank to the north of the new alcove. Three additional storage tank footings are proposed to handle future 20,000-gallon tanks, which will be applied for under a separate permit. All tanks and footings are to be approximately two and a half feet in separation from each other. The new cooling tower is proposed to be adjacent to the north of the existing cooling tower. Adjacent to the northwest corner of the building are the proposed ammonia diffusion tank and the new glycol system and tank.

The building additions will provide additional screening of the proposed tanks, as well as provide safe and proper operations of the proposed tanks. The wastewater tanks and metal canopy on the southeastern portion of the building will be partially enclosed, with openings on the eastern and northern sides of the canopy. The south of the canopy will be screened from the public right-of-way on Busch Place. There are three wastewater tanks within the new canopy, each storing 16,500 gallons. Additional concrete paving and curbs are proposed to help secure and access the wastewater facility. The new refrigeration equipment will include a compressor and glycol chiller located in the existing refrigeration equipment room. The new equipment will replace parts to operate with the new ammonia system.

Elevation

The proposed tanks will vary in height. The tallest tanks are proposed to be 31'-2", which are two 20,000-gallon tanks. Additional 5,000-gallon and 10,000-gallon tanks stand 19'-5" in height with different widths. There are two proposed 20,000-gallon tanks, two 10,000-gallon tanks, and two 5,000-gallon tanks. The tanks will be placed adjacent to the proposed building alcove. The alcove building stands at approximately 10'-8" tall with an upward slope towards the building to approximately 14'-tall. The new ammonia diffusion tank is proposed to be 14'- tall and the new glycol tank is proposed to be 12'-2"- tall. The proposed wastewater tanks and system will be placed within a proposed 26'-8"- tall canopy cover, which is closed on the south and west side, and open on the north and east. The proposed location of the tanks with the additional alcove provides visual relief from the scale of the structures. Due to the height and location, effective screening is not feasible. As a result, MOD Case No. 1366 has been requested to address this

constraint. All tanks will be brushed with a stainless-steel finish. The new alcove building and wastewater canopy will be constructed with insulated metal wall panels with a white stucco finish to match the existing building. The new cooling tower will be atop a support structure with a hot-dipped galvanized finish. The tanks will be fully out of line of sight from the public right-of-way on Busch Place.

Parking

The proposed tanks will be located within existing parking areas and will result in minor reconfiguration of on-site parking. Currently, 105 parking stalls are provided on-site. The applicant proposes a total of 106 stalls, including 75 standard stalls, 26 compact stalls, 4 accessible stalls, and 1 van-accessible stall. The additional floor area associated with the tanks will not be included in the parking calculation, as the additions consist of unmanned building area and do not generate additional parking demand.

Based on the 68,073 square feet of building area, the City’s Zoning Code requires 104 parking stalls. The proposed 106 stalls, therefore, exceed the minimum parking requirement. Furthermore, the subject property operates on a 24-hour, seven-day-a-week schedule with a total of 42 employees, including management. Staffing is distributed across three primary shifts, with an average of approximately 12 employees on-site at any given time. Accordingly, peak parking demand is expected to correspond to shift staffing levels rather than total employment, further demonstrating that the proposed parking supply is adequate.

General Plan Consistency

General Plan Element	Policy	Project Consistency
Land Use	Policy LU-2.1: Diverse Industrial Activities. Strengthen the diversity of industrial uses, emphasizing manufacturing, biotechnology, technology, commercial innovation, research and development, and clean industries.	The proposed milk storage will allow Rex Creamery to maintain a critical supply of milk. In addition, the wastewater canopy will secure cleanly and effective operations to serve the community. Rex Creamery distributes to a number of local businesses, including, but not limited to, Armitex, Food Pharma, Maggie’s Pub, Melrose Baking, and Little Lake School District.
	Policy LU-2.2: Expanding Industrial Base. Apply the following criteria when encouraging new industries to locate and established businesses to remain in the City, and when considering proposed expansion of existing industries.	The proposed project supports Rex Creamery, an existing Santa Fe Springs business, in expanding its operations to better serve the needs of the local community and broader Los Angeles County region. This expansion will help retain a key industrial business within the City. Rex Creamery distributes to a number of local businesses, including, but not limited to,

		Armitex, Food Pharma, Maggie's Pub, Melrose Baking, and Little Lake School District.
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ENVIRONMENTAL:

Upon review of the proposed project, staff has made a preliminary determination that the project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA). Specifically, the project falls under Section 15303, Class 3 (New Construction or Conversion of Small Structures) and Section 15311, Class 11 (Accessory Structures), as the proposed metal tanks are ancillary to the existing use and primary structures existing on-site. The project does include additional building square footage, and the site's use will remain unchanged. Therefore, no additional environmental analysis is required under CEQA. If the Planning Commission concurs, staff will file a Notice of Exemption (NOE) with the Los Angeles County Clerk.

Furthermore, the project site is not included on a Cortese list and is not identified on the EPA's EnviroFACTS database.

DISCUSSION:

Development Plan Approval

Authority of the Planning Commission

The Planning Commission has the authority, subject to the procedures set forth in the City's Zoning Code, to grant a DPA when it has been found that said approval is consistent with the requirements, intent, and purpose of the City's Zoning Code. The Commission may grant, conditionally grant or deny approval of a proposed development plan based on the evidence submitted and upon its own study and knowledge of the circumstances involved, or it may require submission of a revised development plan.

Criteria for Granting a Development Plan Approval

The Commission should note that in accordance with Section 155.739 of the City's Zoning Code, before granting a DPA, the Commission shall give consideration to the following:

- (A) That the proposed project is in conformance with the overall objectives of this chapter.
- (B) That the architectural design of the proposed structures is such that it will enhance the general appearance of the area and be in harmony with the intent of this chapter.

- (C) That the proposed structures be considered on the basis of their suitability for their intended purpose and on the appropriate use of materials and on the principles of proportion and harmony of the various elements of the buildings or structures.
- (D) That consideration be given to landscaping, fencing and other elements of the proposed project to ensure that the entire development is in harmony with the objectives of this chapter.
- (E) That it is not the intent of this subchapter to require any particular style or type of architecture other than that necessary to harmonize with the general area.
- (F) That it is not the intent of this subchapter to interfere with architectural design except to the extent necessary to achieve the overall objectives of this chapter.
- (G) As a means of encouraging residential development projects to incorporate units affordable to extremely low income households and consistent with the city's housing element, the city will waive Planning Department entitlement fees for projects with a minimum of 10% extremely low income units. For purposes of this section, extremely low income households are households whose income does not exceed the extremely low-income limits applicable to Los Angeles County, as published and periodically updated by the state's Department of Housing and Community Development Pursuant Cal. Health and Safety Code § 50106.

Modification Permit

Authority of the Planning Commission

When it is found that a strict or literal interpretation of the property development standards set forth in this chapter would cause undue difficulties and unnecessary hardships inconsistent with the purpose and intent of this chapter, the Planning Commission shall have the authority, in accordance with the procedures of this subchapter, to grant modifications from the requirements of said property development standards.

Criteria for Granting a Modification Permit

The Commission should note that in accordance with Section 155.695 of the City's Zoning Code, before granting a Modification Permit, the Commission shall give consideration to the following:

- (A) That the granting of the modification would not grant special privileges to the applicant not enjoyed by other property owners in the area.

- (B) That the subject property cannot be used in a reasonable manner under the existing regulations.
- (C) That the hardship involved is due to unusual or unique circumstances.
- (D) That the modifications, if granted, would not be detrimental to other persons or properties in the area nor be detrimental to the community in general.

In addition to the considerations identified in Section 155.695 of the City's Zoning Code, the Commission shall also give consideration to the following factors identified in Section 155.696:

- (A) That there are particular physical circumstances due to the shape or condition of the property which result in a hardship under the existing regulations, as distinguished from a mere inconvenience.
- (B) That the purpose of the modification is not based exclusively on the financial advantage to the owner.
- (C) That the alleged difficulties were not created by any person presently having an interest in the property.
- (D) That the conditions involved are not generally applicable to most of the surrounding properties.
- (E) That the requested modification would not diminish property values in the neighborhood.
- (F) That the proposed modification will not increase congestion or endanger the public safety.

Written findings for each of the aforementioned criteria are provided in Resolution No. 313-2026 (**Attachment D**).

SUMMARY:

Conditions of Approval

On January 26, 2026, the Community Development Department distributed a project summary and all application materials related to the DPA and MOD request to various City departments for review, comments, and conditions of approval. The comprehensive list of conditions is included as Exhibit A in Attachment D. It should be noted that the applicant has reviewed, acknowledged, and agreed to all conditions of approval prior to the Planning Commission meeting.

Public Notification

This matter was scheduled for a Public Hearing in accordance with Sections 65090 and 65091 of the State Planning, Zoning, and Development Laws and Sections 155.860 through 155.864 of the City’s Municipal Code.

Legal notice of the Public Hearing was sent by first-class mail on February 5, 2026, to all property owners listed on the latest County Assessor's Roll within 500 feet of the exterior boundaries of the Project Site. The legal notice was also posted in Santa Fe Springs City Hall, the City’s Town Center Kiosk, and the City’s Library, and published in a newspaper of general circulation (Los Cerritos Community Newspaper) on February 6, 2026, as required by the State and City Zoning regulations.

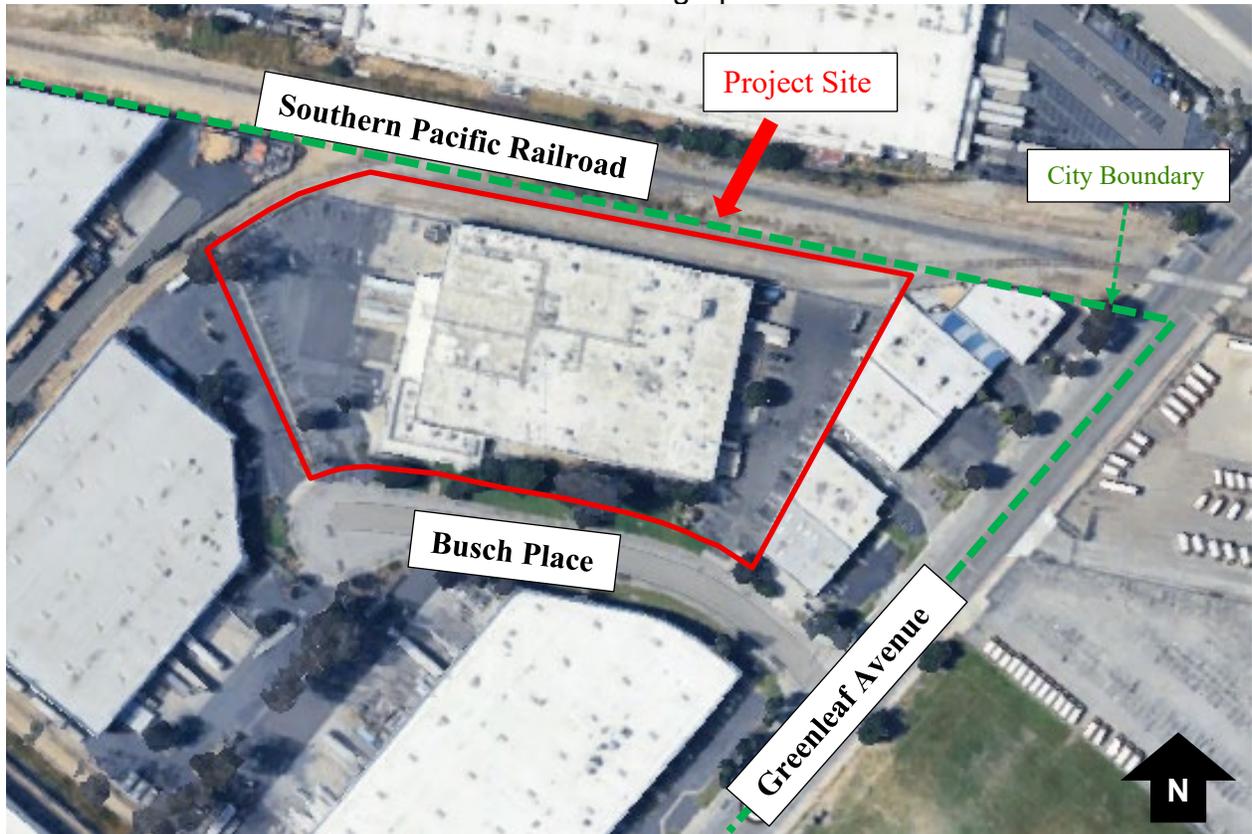
To date, staff has not received any public inquiries regarding the DPA or MOD request.

ATTACHMENT(S):

- A. Aerial Photograph
- B. Public Hearing Notice
- C. Full Set of Plans
- D. Resolution No. 282-2025
 - a) Exhibit A – Conditions of Approval

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>

Attachment A
Aerial Photograph



12809 Busch Place (APN: 8167-001-031)
Development Plan Approval (DPA) Case No. 1017
Modification Permit (MOD) Case No. 1375

Attachment B
Public Hearing Notice

FILE COPY

DEPARTMENT OF COMMUNITY DEVELOPMENT



11710 Telegraph Road
Santa Fe Springs, CA 90670

(562) 868-0511

santafesprings.gov



**NOTICE OF PUBLIC HEARING
DEVELOPMENT PLAN APPROVAL CASE NO. 1017
MODIFICATION PERMIT CASE NOS. 1375 AND 1376**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Santa Fe Springs will hold a Public Hearing to consider the following:

DEVELOPMENT PLAN APPROVAL CASE NO. 1017: For exterior improvements including one new 24' tall cooling tower, one new wastewater treatment system within a new 28' tall metal canopy structure, two new 31'-2" tall and two new 19'-5" tall metal tanks for the storage of milk, and one new metal canopy extension over the tankers; and

MODIFICATION PERMIT CASE NO. 1375: To allow partial screening of the proposed tanks; and

MODIFICATION PERMIT CASE NO. 1376: To temporarily deviate from the minimum required number of parking stalls

PROJECT LOCATION/APPLICANT: 12809 Busch Place, Santa Fe Springs, CA 90670 / Rex Creamery

CEQA STATUS: The Planning Commission will determine whether the project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) pursuant to Section 15303 – Class 3 (New Construction or Conversion of Small Structures) and Section 15311 – Class 11 (Accessory Structures) of the CEQA Guidelines.

THE HEARING will be held before the Planning Commission of the City of Santa Fe Springs in the Council Chambers of the City Hall, 11710 Telegraph Road, Santa Fe Springs, on **Wednesday, February 18, 2026, at 6:00 p.m.**

ALL INTERESTED PERSONS are invited to participate in the Public Hearing and provide input on the items listed above. Please note that if you challenge these items in judicial proceeding, you may be limited to issues raised during the Public Hearing or submitted in writing to the office of the Commission, on or before the Public Hearing.

PUBLIC COMMENTS may be submitted in writing to the Community Development Department at City Hall, 11710 Telegraph Road, Santa Fe Springs CA 90670 or e-mail the Planning Commission Secretary at esmeraldaelise@santafesprings.gov. Please submit your written comments by 12:00 p.m. on the day of the Planning Commission meeting. You may also contact the Community Development Department at (562) 868-0511 ext. 7550.

FURTHER INFORMATION on this item may be obtained from Laurel Reimer, Planning Consultant, via e-mail at laurelreimer@santafesprings.gov or by phone at: (562) 868-0511 ext. 7354.

Attachment C
Full Set of Plans

EXTERIOR IMPROVEMENTS

FOR



12809 BUSCH PLACE
SANTA FE SPRINGS CA 90670

DEFERRED SUBMITTALS:

- PLANS FOR FIRE SPRINKLERS/ALARM OR MODIFICATIONS TO FIRE SPRINKLERS/ALARM SYSTEM (IF ANY)
- SIGNS
- STORAGE RACKS

NOTE: SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL. DEFERRED SUBMITTALS MUST BE REVIEWED AND APPROVED PRIOR TO INSTALLATION.



532 East Lambert Road
Brea, CA 92821
tel. 714.255.9645
www.vertreesae.com



01-05-26 PLANNING DPA 4 MOD SUBMITTAL

Contractor:



Proposed:
EXTERIOR IMPROVEMENTS



5743 SMITHWAY STREET
COMMERCE, CA 90040

Project Address:
**12809 BUSCH PLACE
SANTA FE SPRINGS, CA
90670**

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COVER SHEET - DPA

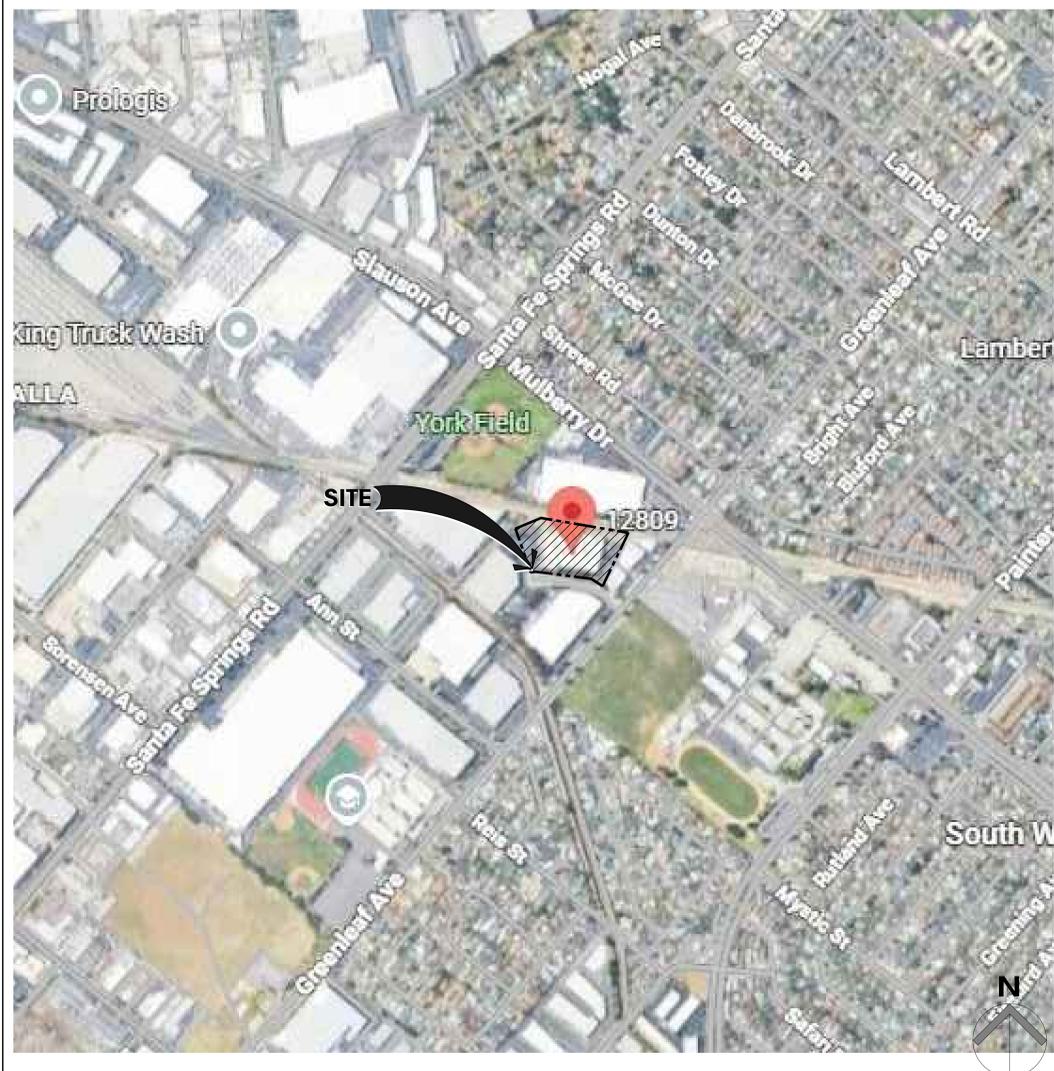
Plot Date
01/31/2026
VAE Project No.
1293

A0.1

VICINITY MAP



1/2 MILE RADIUS AERIAL VICINITY MAP



PROJECT DATA

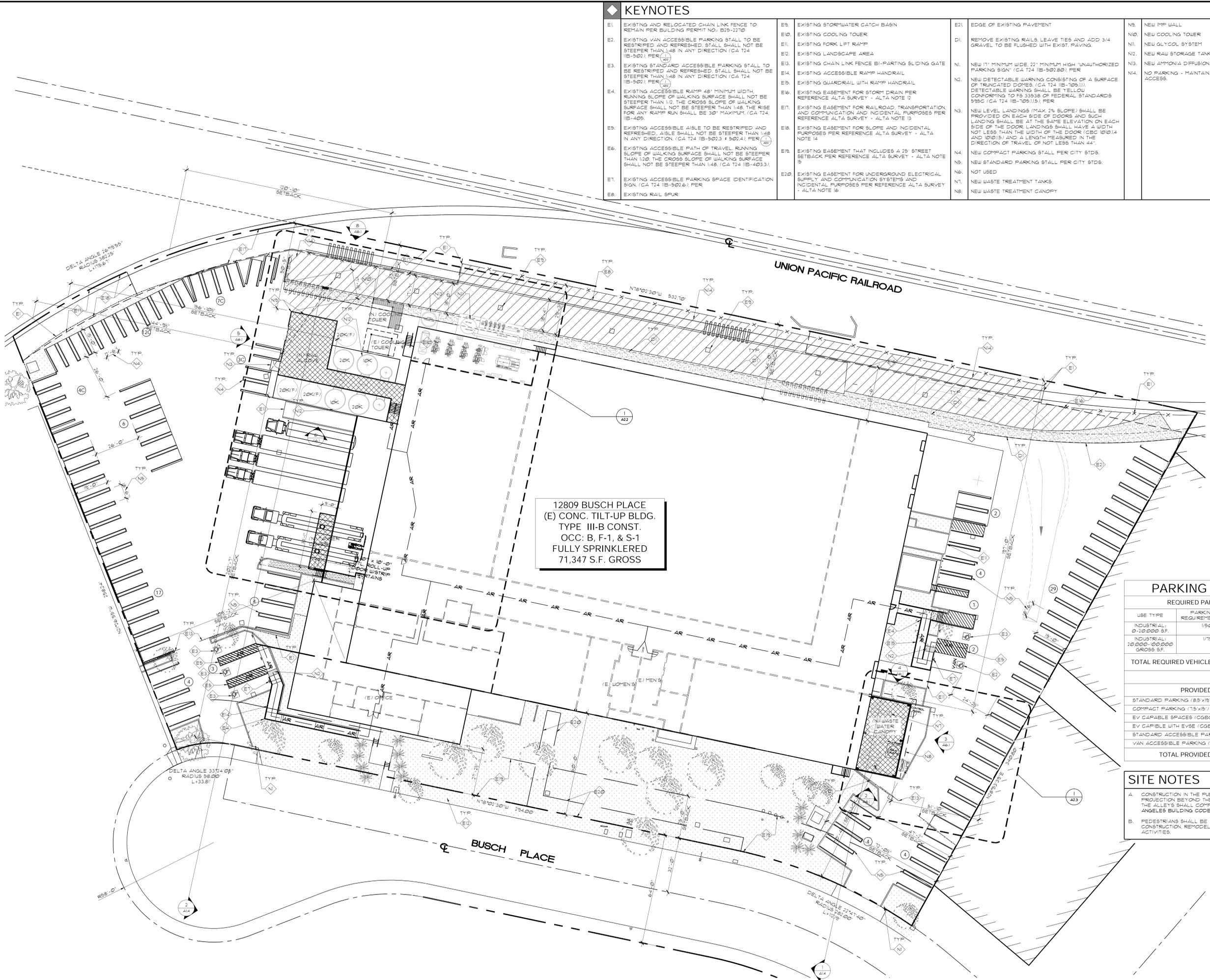
PROJECT DESCRIPTION	CODE DATA
EXTERIOR IMPROVEMENTS TO INCLUDE NEW BULK STORAGE TANKS WITH MAINTENANCE ALCOVE AND WASTE WATER TREATMENT SYSTEM, EQUIPMENT, AND ASSOCIATED PROCESS PIPING AND UTILITIES, NEW AMMONIA DIFFUSION TANK, GLYCOL TANKS, AND GLYCOL EQUIPMENT ON THE NORTH SIDE. INTERIOR IMPROVEMENTS TO INCLUDE REFRIGERATION EQUIPMENT IN EXISTING MECHANICAL ROOM AND MINOR ACCESSIBILITY IMPROVEMENTS. REMOVE RAILS ADJACENT TO BLDG. AT NORTH SIDE. NEW FENCE AT NORTH SIDE UNDER PERMIT NO.: 825-2270	CONSTRUCTION TYPE: IIIB OCCUPANCY: B, F-1, S-1 SPRINKLERED: YES
OWNER: LBA NCC COMPANY XVI LLC P.O. BOX 847 CARLSBAD, CA 92018	EXISTING AREAS B (OFFICES) 6,880 SF S-1 (WAREHOUSE) 51,248 SF F-1 (MANUFACTURING) 9,945 SF TOTAL EXISTING BLDG. AREA 68,073 SF
TENANT: REX CREAMERY 5743 SMITHWAY STREET COMMERCE, CA 90040 P (323) 838-1225	NEW AREAS S-1 (TANK ALCOVE) 1,677 SF S-1 (CANOPY EXTENSION) 378 SF S-1 (WASTE WATER TREATMENT) 1,219 SF TOTAL NEW BLDG. AREA 3,274 SF
ARCHITECT AND ENGINEER: VERTREES A&E 532 EAST LAMBERT ROAD BREA, CA 92821 P (714) 255-9645 CONTACT: JOE VERTREES, P.E., AIA	TOTAL UPDATED BLDG. AREA 71,347 SF TOTAL AREA USED TO CALCULATE PARKING: 69,750 SF TOTAL LOT AREA: +/- 3.97 ACRES PERCENTAGE OF LOT COVERAGE: 40%
CONTRACTOR: ACCURATE INDUSTRIAL CONSTRUCTION, INC. 1140 N. VAN HORNE WAY ANAHEIM, CA 92816 P (661) 236-5189 CONTACT: RON FIELD	ALLOWABLE AREA: UNLIMITED
CURRENT CODES IN EFFECT: THE FOLLOWING CODES ARE IN EFFECT FOR THIS PROJECT:	LEGAL DESCRIPTION LOS ANGELES COUNTY, AP# 8167-001-031 "TR- PARCEL MAP AS PER BK 119 P 38-84 OF P M" LOT COM AT SW COR OF LOT 2 TH NW ON SW LINE OF SD LOT TO SE LINE OF 30 FT MAIN LINE R/W OF SP RR TH NE ON SD SE LINE TO NE LINE OF SD LOT TH SE AND FOLLOWING BDRY LINE OF SD LOT TO BEG POB OF LOT 2 ZONE: M-2 HEAVY MANUFACTURING

SHEET INDEX

ARCHITECTURAL
A0.1 COVER SHEET
A1.1 ARCHITECTURAL SITE PLAN
A1.2 PHOTO SURVEY
A1.3 PHOTOS
A1.4 SIGHT LINE STUDY
A2.2 ENLARGED FLOOR PLAN
A2.3 ENLARGED FLOOR PLAN
A6.1 BUILDING ELEVATIONS

KEYNOTES

E1. EXISTING AND RELOCATED CHAIN LINK FENCE TO REMAIN PER BUILDING PERMIT NO. B25-2210	E9. EXISTING STORMWATER CATCH BASIN	E21. EDGE OF EXISTING PAVEMENT	N9. NEW IMP WALL
E2. EXISTING VAN ACCESSIBLE PARKING STALL TO BE RESTRIPTED AND REFRESHED. STALL SHALL NOT BE STEEPER THAN 1:48 IN ANY DIRECTION (CA T24 1B-502.1) PER (1)	E10. EXISTING COOLING TOWER	D1. REMOVE EXISTING RAILS, LEAVE TIES AND ADD 3/4 GRAVEL TO BE FLUSHED WITH EXIST. PAVING.	N10. NEW COOLING TOWER
E3. EXISTING STANDARD ACCESSIBLE PARKING STALL TO BE RESTRIPTED AND REFRESHED. STALL SHALL NOT BE STEEPER THAN 1:48 IN ANY DIRECTION (CA T24 1B-502.1) PER (1)	E11. EXISTING FORK LIFT RAMP	N1. NEW 11" MINIMUM WIDE, 22" MINIMUM HIGH "UNAUTHORIZED PARKING SIGN" (CA T24 1B-502.80) PER	N11. NEW GLYCOL SYSTEM
E4. EXISTING ACCESSIBLE RAMP 48" MINIMUM WIDTH. RUNNING SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:12. THE CROSS SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48. THE RISE FOR ANY RAMP RUN SHALL BE 30" MAXIMUM. (CA T24 1B-409)	E12. EXISTING LANDSCAPE AREA	N2. NEW DETECTABLE WARNING CONSISTING OF A SURFACE OF TRUNCATED CONES. (CA T24 1B-105.11). DETECTABLE WARNING SHALL BE YELLOW CONFORMING TO PS 33538 OF FEDERAL STANDARDS 555C (CA T24 1B-105.11) PER	N12. NEW RAW STORAGE TANKS
E5. EXISTING ACCESSIBLE AISLE TO BE RESTRIPTED AND REFRESHED. AISLE SHALL NOT BE STEEPER THAN 1:48 IN ANY DIRECTION. (CA T24 1B-502.3 & 502.4) PER (1)	E13. EXISTING CHAIN LINK FENCE BI-PARTING SLIDING GATE	N3. NEW LEVEL LANDINGS (MAX. 2% SLOPE) SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDINGS SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR (60" @ 10'0" AND 10'0" @ 10'0") AND A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44"	N13. NEW AMMONIA DIFFUSION TANK
E6. EXISTING ACCESSIBLE PATH OF TRAVEL. RUNNING SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48. (CA T24 1B-403.3)	E14. EXISTING ACCESSIBLE RAMP HANDRAIL	N4. NEW COMPACT PARKING STALL PER CITY STD.	N14. NO PARKING - MAINTAIN CLEAR FOR FIRE PERSONNEL ACCESS.
E7. EXISTING ACCESSIBLE PARKING SPACE IDENTIFICATION SIGN. (CA T24 1B-502.6) PER	E15. EXISTING GUARDRAIL WITH RAMP HANDRAIL	N5. NEW STANDARD PARKING STALL PER CITY STD.	
E8. EXISTING RAIL SPUR	E16. EXISTING EASEMENT FOR STORM DRAIN PER REFERENCE ALTA SURVEY - ALTA NOTE 12	N6. NOT USED	
	E17. EXISTING EASEMENT FOR RAILROAD, TRANSPORTATION, AND COMMUNICATION AND INCIDENTAL PURPOSES PER REFERENCE ALTA SURVEY - ALTA NOTE 13	N7. NEW WASTE TREATMENT TANKS	
	E18. EXISTING EASEMENT FOR SLOPE AND INCIDENTAL PURPOSES PER REFERENCE ALTA SURVEY - ALTA NOTE 14	N8. NEW WASTE TREATMENT CANOPY	
	E19. EXISTING EASEMENT THAT INCLUDES A 25' STREET SETBACK PER REFERENCE ALTA SURVEY - ALTA NOTE 15		
	E20. EXISTING EASEMENT FOR UNDERGROUND ELECTRICAL SUPPLY AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES PER REFERENCE ALTA SURVEY - ALTA NOTE 16		



12809 BUSCH PLACE
(E) CONC. TILT-UP BLDG.
TYPE III-B CONST.
OCC: B, F-1, & S-1
FULLY SPRINKLERED
71,347 S.F. GROSS

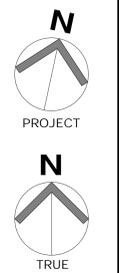
PARKING ANALYSIS

REQUIRED PARKING SPACES			
USE TYPE	PARKING REQUIREMENTS	SQUARE FOOTAGE	SPACES
INDUSTRIAL: 0-20,000 S.F.	1/150 SF	10,000 SF	40
INDUSTRIAL: 20,000-100,000 GROSS S.F.	1/175 SF	49,150 SF	66
TOTAL REQUIRED VEHICLE PARKING SPACES			106

PROVIDED PARKING	
STANDARD PARKING (8.5'x19')	15
COMPACT PARKING (7.5'x15')	26
EV CAPABLE SPACES (CGBC TABLE 5.10.6.5.3.1)	0
EV CAPABLE WITH EVSE (CGBC TABLE 5.10.6.5.3.1)	0
STANDARD ACCESSIBLE PARKING (9'x18' MIN.)	4
VAN ACCESSIBLE PARKING (9'x18' MIN.)	1
TOTAL PROVIDED PARKING SPACES	

SITE NOTES

- CONSTRUCTION IN THE PUBLIC RIGHT OF WAY AND PROJECTION BEYOND THE PROPERTY LINES OR INTO THE ALLEYS SHALL COMPLY WITH COUNTY OF LOS ANGELES BUILDING CODE CHAPTER 32.
- PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES.



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01-09-26 PLANNING DPA 4
MOD SUBMITTAL



Proposed:
EXTERIOR IMPROVEMENTS



5743 SMITHWAY STREET
COMMERCE, CA 90040

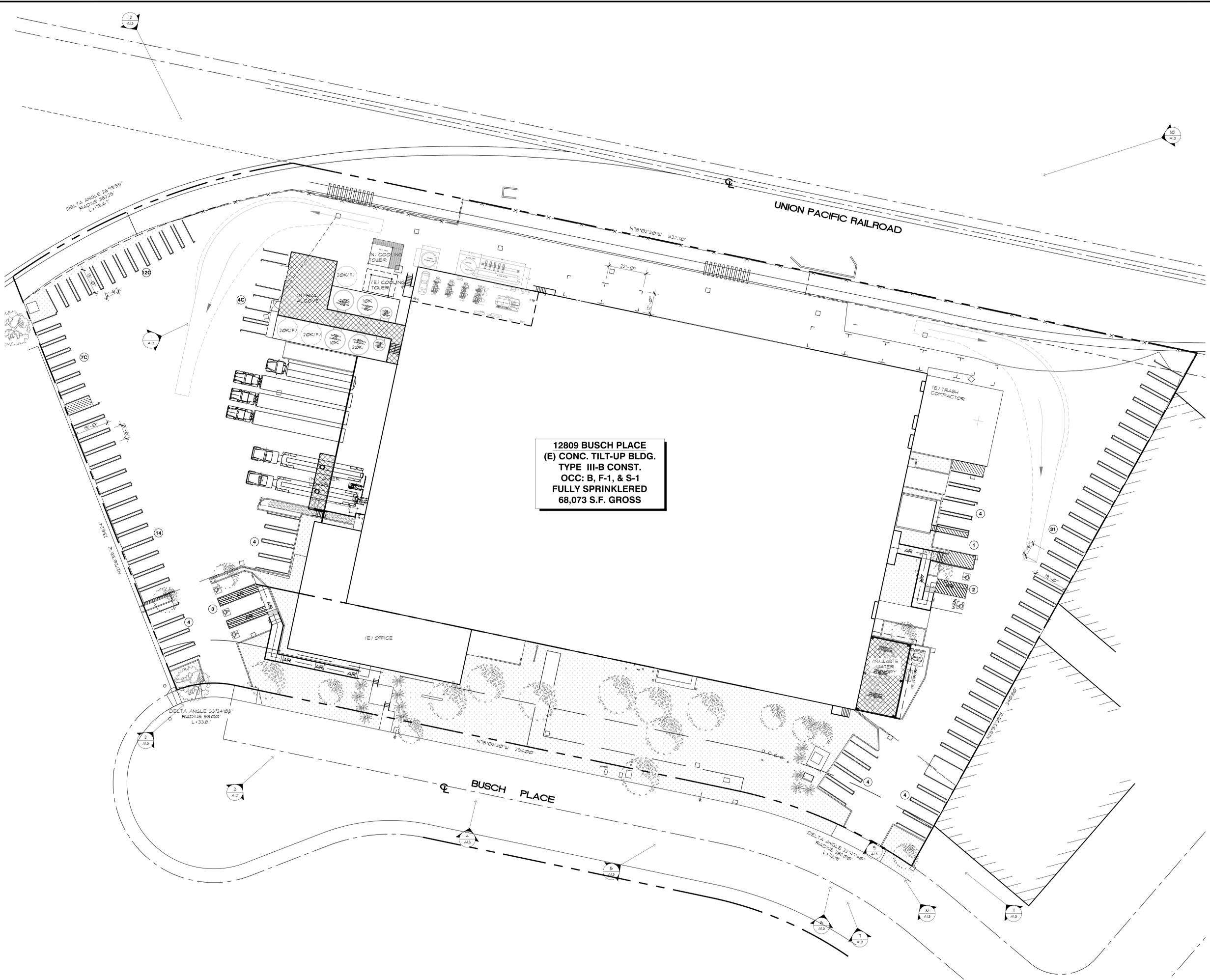
Project Address:
**12809 BUSCH PLACE
SANTA FE SPRINGS, CA
90670**

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SITE PLAN - DPA

Plot Date
02/05/2026
VAE Project No.
1293

A1.1



**12809 BUSCH PLACE
 (E) CONC. TILT-UP BLDG.
 TYPE III-B CONST.
 OCC: B, F-1, & S-1
 FULLY SPRINKLERED
 68,073 S.F. GROSS**



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01-05-26 PLANNING DPA 4
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Contractor:

AIC
 General Contractor
 Plumbing, Mechanical, Core/Welders
 714-879-7017
 General Contractors License # 87988
 1140 N Van Horne Way,
 Anaheim, CA 92806

Proposed:
**EXTERIOR
 IMPROVEMENTS**

For:

**REX
 Creamery**
 5743 SMITHWAY STREET
 COMMERCE, CA 90040

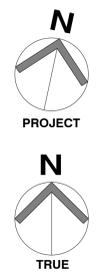
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**PHOTO
 SURVEY**

Plot Date
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A1.2





NORTHWEST AERIAL VIEW OF SITE

12



SOUTHEAST ELEVATION VIEW FROM BUSCH PL.

9



SOUTH ELEVATION VIEW FROM BUSCH PLACE

6



SOUTH ELEVATION VIEW FROM BUSCH PLACE

3



SOUTHEAST AERIAL VIEW OF SITE

11



VIEW OF SITE FROM SOUTHEAST

8



SOUTH ELEVATION VIEW FROM BUSCH PLACE

5



PARTIAL WEST ELEVATION

2



NORTH ELEVATION FROM GREENLEAF AVE.

10



SOUTH ELEVATION VIEW FROM BUSCH PLACE

7



SOUTH ELEVATION VIEW FROM BUSCH PLACE

4



PARTIAL WEST ELEVATION

1



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01-05-26 PLANNING DPA 4
MOD SUBMITTAL



Proposed:
**EXTERIOR
IMPROVEMENTS**

For:



Project Address:
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**SITE
PHOTOS**

Plot Date
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A1.3



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01-05-26 PLANNING DPA 4
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Contractor:



Proposed:
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**SIGHT LINE
STUDY -
DPA**

Plot Date
01/05/2026

VAE Project No.
1293

A1.4

KEYNOTES

- E1. EXISTING CONC. TILT-UP WALL BEYOND
- E2. EXISTING GRADE
- E3. EXISTING CHAIN LINK FENCE WITH PRIVACY SLATS
- E4. EXISTING RAIL SURF
- E5. EXISTING COOLING TOWER

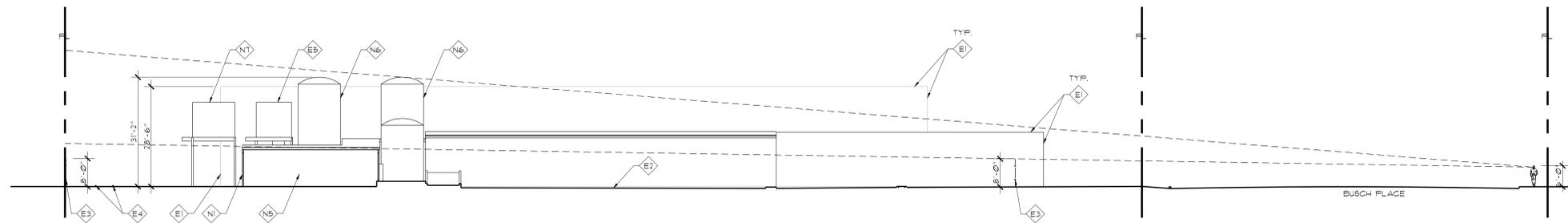
- N1. NEW INSULATED METAL WALL PANELS
- N2. NEW METAL CANOPY STRUCTURE
- N3. NEW WASTE WATER STORAGE TANK
- N4. NEW CONCRETE CONTAINMENT WALL
- N5. NEW TANK ALCOVE
- N6. NEW MILK STORAGE BILO/TANK
- N7. NEW COOLING TOWER

SCALE: 4
1/8" = 1'-0"

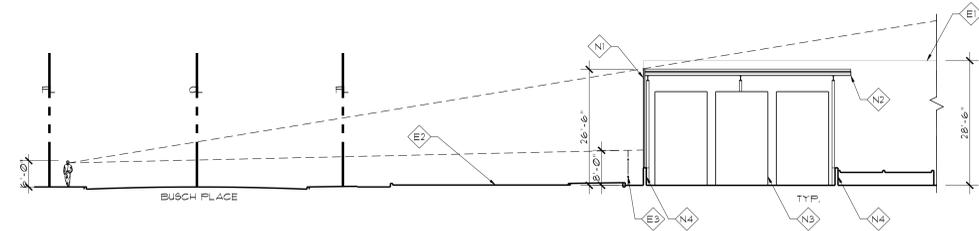
SCALE: 3
1/8" = 1'-0"

SCALE: 2
1/8" = 1'-0"

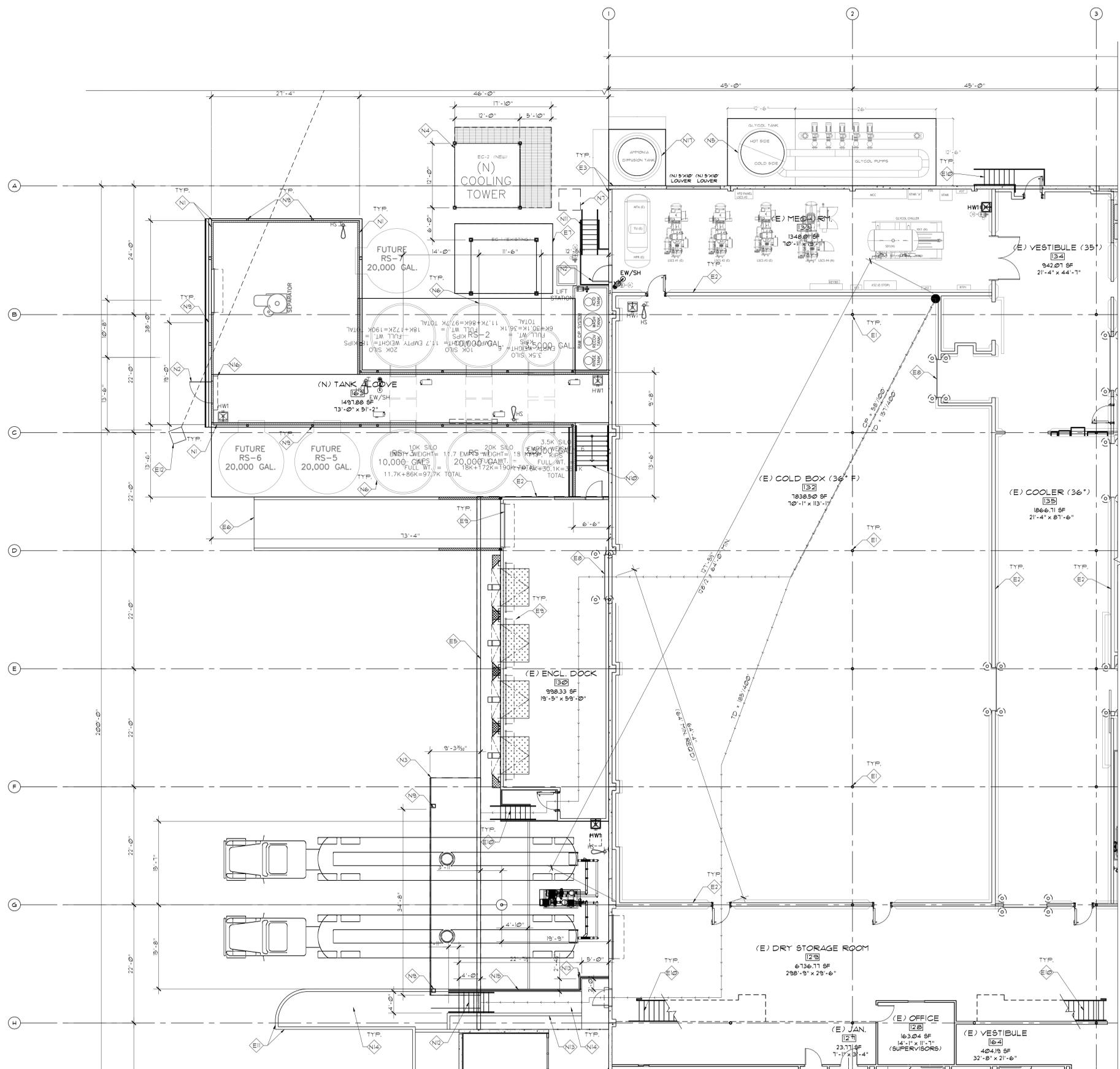
SCALE: 1
1/8" = 1'-0"



SIGHT LINE STUDY

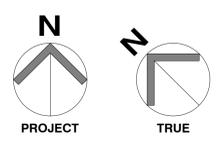


SIGHT LINE STUDY



- ### KEYNOTES
- E1. EXISTING STEEL BUILDING COLUMN
 - E2. EXISTING IMP WALL
 - E3. EXISTING CONCRETE TILT-UP WALL
 - E4. EXISTING HOLLOW METAL DOOR
 - E5. LINE OF EXISTING ROOF OVERHANG ABOVE
 - E6. EXISTING FORK LIFT RAMP
 - E7. EXISTING COOLING TOWER
 - E8. EXISTING SPEED DOOR
 - E9. EXISTING METAL ROLL-UP DOOR
 - E10. EXISTING STAIRS
 - E11. EXISTING CONCRETE CURB
 - E12. EXISTING STORM WATER CATCH BASIN
- N1. NEW IMP WALL PER WALL TYPE DETAILS
 - N2. NEW DOOR WITH LEVEL LANDING (MAX. 2% SLOPE) ON EACH SIDE OF THE DOOR PER (A) (1) (ADP)
 - N3. NEW ROOF CANOPY EXTENSION
 - N4. NEW COOLING TOWER
 - N5. NEW GLYCOL SYSTEM
 - N6. NEW RAW STORAGE TANKS
 - N7. NEW SUMP
 - N8. NOT USED
 - N9. NEW STEEL COLUMN
 - N10. NEW METAL STAIRS WITH HANDRAILS ON BOTH SIDES PER (A) (1) (ADP)
 - N11. RELOCATED STEEL STAIRS WITH STEEL GUARDRAILS, HANDRAILS, AND STAIR LANDING
 - N12. NEW CONC. STAIRS WITH STEEL HANDRAILS
 - N13. NEW FORMED IN PLACE CONC. RETAINING WALL
 - N14. NEW 4" THK. CONC. WALKWAY WITH BROOM FINISH
 - N15. NEW STL. GUARDRAIL
 - N16. NEW AIR CURTAIN ABOVE
 - N17. NEW AMMONIA DIFFUSION TANK

- ### LEGEND
- (E) CONC. TILT-UP WALL
 - (E) IMP WALL
 - (N) IMP WALL
 - DOOR TYPE - PER DOOR SCHEDULE, SEE SHEET A02
 - E* INDICATES EXISTING DOOR
 - EXISTING WINDOW
 - CEILING MOUNTED INTERNALLY ILLUMINATED DIRECTIONAL EXIT SIGN
 - WALL TYPES, SEE (A) (2)
 - WALL MOUNTED FIRE EXTINGUISHER
 - WALL MOUNTED WASH DOWN STATION WITH HOSE
 - FLOOR DRAIN, SLOPED TO DRAIN MIN 1/8" PER FOOT, TYP.
 - EMERGENCY EYE WASH STATION
 - STAINLESS STEEL NSF APPROVED HAND WASH SINK



ENLARGED COLD STORAGE FLOOR PLAN SCALE: 1/8" = 1'-0" 1



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01-05-26 PLANNING DPA 4 MOD SUBMITTAL



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ENLARGED FLOOR PLAN - DPA

Plot Date
01/05/2026
VAE Project No.
1293

A2.2



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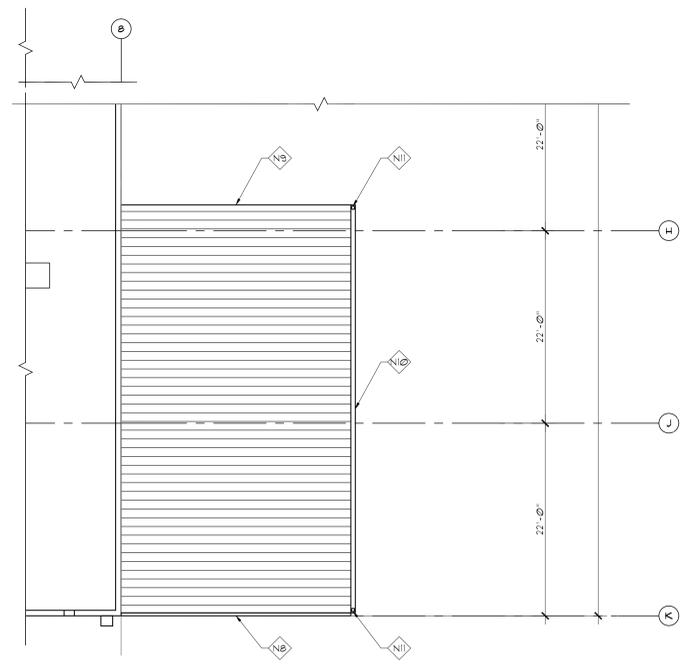
ENLARGED FLOOR PLAN - DPA

Plot Date
01/05/2026
VAE Project No.
1293

A2.3

KEYNOTES

- E1. EXISTING CONCRETE TILT-UP WALL.
- E2. EXISTING HOLLOW METAL DOOR.
- E3. EXISTING FORK LIFT RAMP.
- E4. EXISTING METAL ROLL-UP DOOR.
- E5. EXISTING STAIRS.
- E6. EXISTING LANDSCAPE PLANTER.
- E7. EXISTING CHAIN LINK FENCE.
- E8. EXISTING CHAIN LINK FENCE ROLLING GATE.
- N1. NEW 8" THK. 4 FT. HT. REINFORCED CONCRETE CONTAINMENT WALL PER STRUCTURAL.
- N2. NEW STEEL COLUMN PER STRUCTURAL.
- N3. NEW STEEL CROSSOVER LADDER.
- N4. NEW WASTE TREATMENT TANK.
- N5. NEW WASTE TREATMENT CANOPY.
- N6. NEW 6" HIGH CONC. CURB.
- N7. NEW 4" THK. CONC. PAVING.
- N8. NEW 4" THK. FULL HT. IMP WALL ON TOP OF CONC. CONTAINMENT WALL.
- N9. NEW RIBBED METAL ROOF PANEL.
- N10. NEW 6" x 24 GA METAL FASCIA GUTTER.
- N11. NEW 4" SQ. METAL DOWNSPOUT.



ROOF PLAN

SCALE: 1/8" = 1'-0" 2

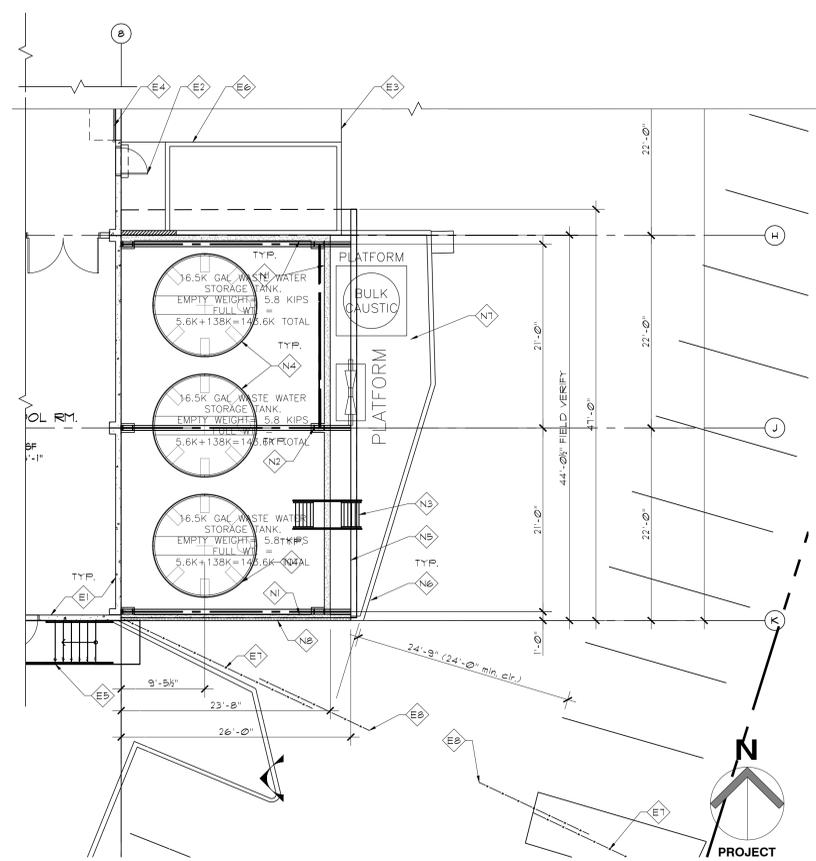
3

WASTE TREATMENT SECONDARY CONTAINMENT:
INSIDE DIMENSIONS: 23'-0" x 42'-8"
WALL HEIGHT: 4'-0"

TANK SPILL: 16,000 GAL (2,139 CF)
SPRINKLER (0.15 GPM/SF x 982 SF x 20 MIN.): 42,946 GAL (394 CF)
TOTAL REQUIRED: 18,946 GAL (2,533 CF)

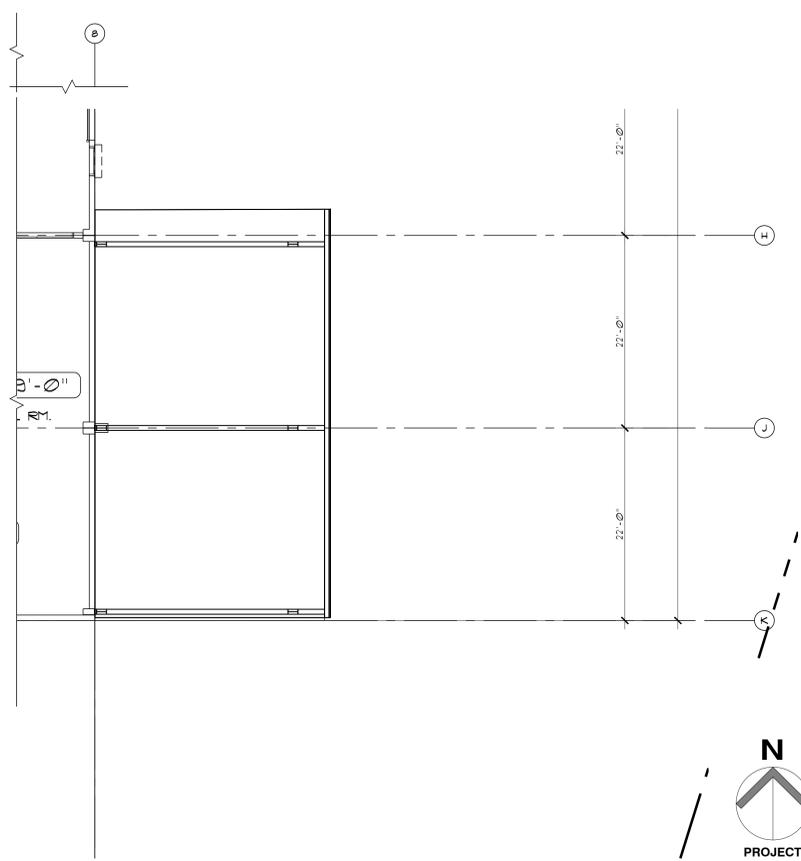
PROVIDED:
GROSS (982 SF x 4'): 3,928 CF
DISPLACEMENT (3 TANKS x 110 SF x 4'): -1,320 CF
NET: 2,608 CF (19,514 GAL) > REQUIRED
(DISPLACEMENT: 2 INTACT + 1 RUPTURED TO 4' LEVEL)

PRECIPITATION EXCLUDED PER OVERHANG/SOLID WALL



ENLARGED FLOOR PLAN

SCALE: 1/8" = 1'-0" 1



ENLARGED REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0" 4



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01-05-26 PLANNING DPA 4
MOD SUBMITTAL

Contractor:



Proposed:
EXTERIOR IMPROVEMENTS

For:



5743 SMITHWAY STREET
COMMERCE, CA 90040

Project Address:
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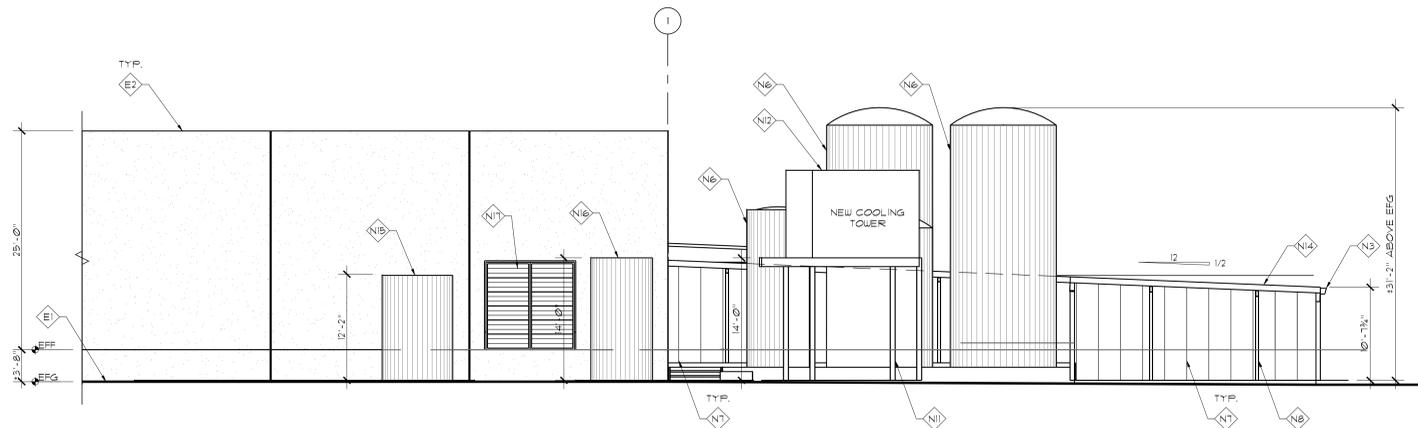
BUILDING ELEVATIONS

DPA
Plot Date
01/05/2026
VAE Project No.
1293

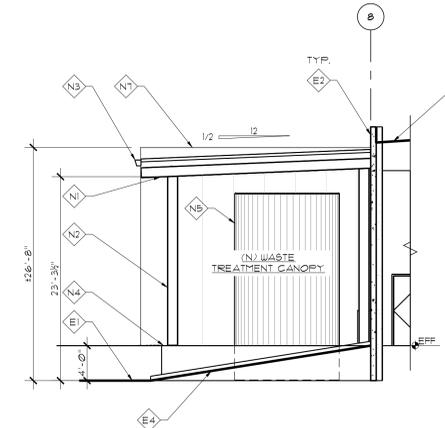
A6.1

KEYNOTES

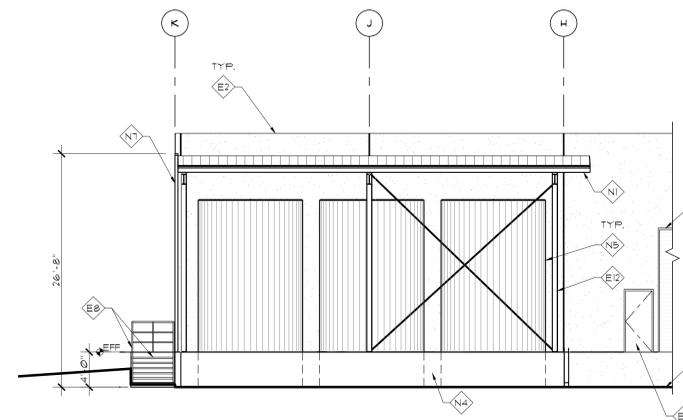
- E1. EXISTING GRADE
- E2. EXISTING CONCRETE TILT-UP WALL PANEL COLOR: WHITE
- E3. EXISTING ROOF
- E4. EXISTING RAMP
- E5. EXISTING PERSONNEL DOOR
- E6. EXISTING OVERHEAD DOOR COLOR: WHITE
- E7. EXISTING COOLING TOWER STEEL STRUCTURE COLOR: YELLOW
- E8. EXISTING STAIRS AND HANDRAILS, COLOR: WHITE.
- N1. NEW METAL CANOPY STRUCTURE
- N2. NEW CANOPY STEEL COLUMN
- N3. NEW GUTTER
- N4. NEW CONCRETE CONTAINMENT WALL
- N5. NEW WASTE WATER STORAGE TANK
- N6. NEW MILK STORAGE SILO/TANK WITH BRUSHED STAINLESS STEEL FINISH
- N7. NEW INSULATED METAL WALL PANELS (IMP) WITH STUCCO EMBOSSED EXTERIOR FINISH AND FLAT PROFILE. COLOR: WHITE.
- N8. NEW STAINLESS STEEL HSS COLUMN MILL FINISH.
- N9. NEW PERSONNEL DOOR PAINT WHITE.
- N10. NEW OVERHEAD ROLL-UP DOOR COLOR: WHITE
- N11. NEW COOLING TOWER SUPPORT STRUCTURE, HOT DIPPED GALVANIZED FINISH.
- N12. NEW COOLING TOWER
- N13. NEW METAL CANOPY EXTENSION TO COVER TANKERS.
- N14. NEW IMP STANDING BEAM ROOF. COLOR: WHITE.
- N15. NEW GLYCOL TANK
- N16. NEW AMMONIA DIFFUSION TANK
- N17. NEW MAKE-UP AIR LOUVER AT EXISTING OPENING.



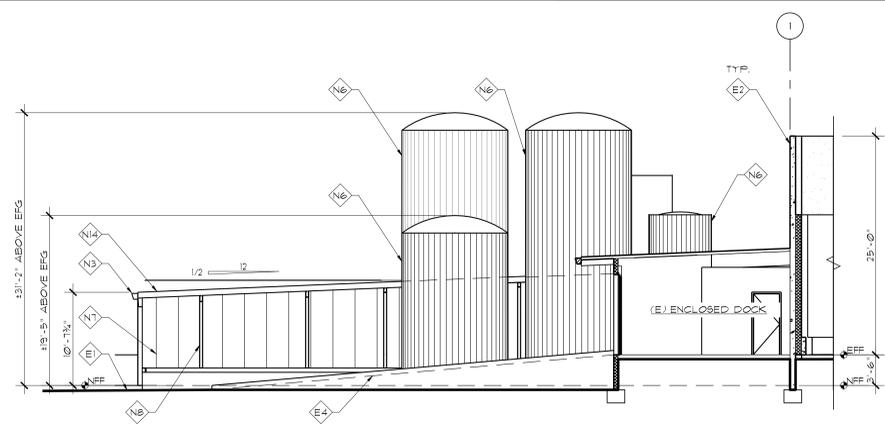
NEW TANK ALCOVE NORTH ELEVATION SCALE: 1/8" = 1'-0" **8**



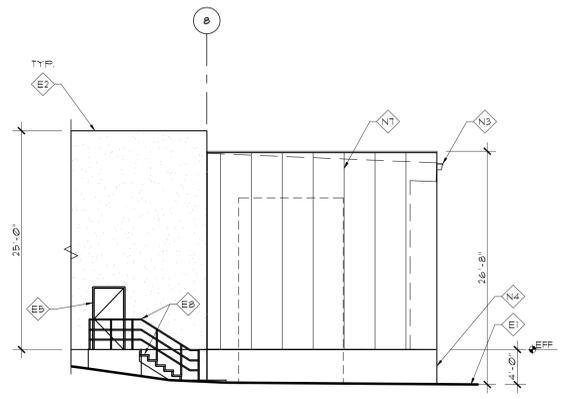
WASTE TREATMENT NORTH ELEVATION SCALE: 1/8" = 1'-0" **4**



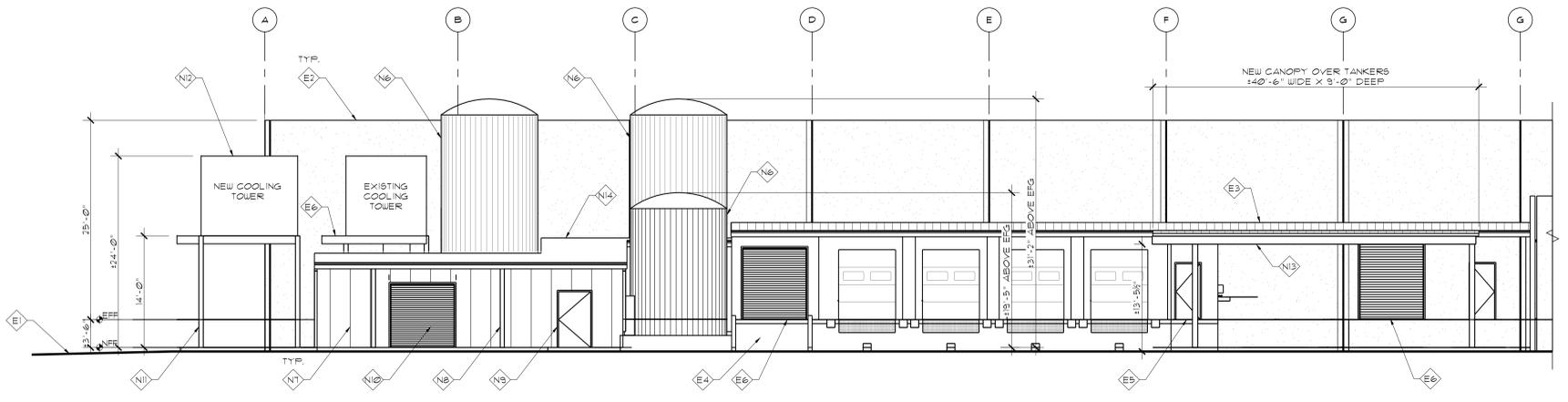
WASTE TREATMENT EAST ELEVATION SCALE: 1/8" = 1'-0" **3**



NEW TANK ALCOVE SOUTH ELEVATION SCALE: 1/8" = 1'-0" **6**



WASTE TREATMENT SOUTH ELEVATION SCALE: 1/8" = 1'-0" **2**



NEW TANK ALCOVE WEST ELEVATION SCALE: 1/8" = 1'-0" **5**

1 SCALE: 1/8" = 1'-0"

Attachment D

Resolution No. 313-2026
Exhibit A – Conditions of Approval

CITY OF SANTA FE SPRINGS
RESOLUTION NO. 313-2026

**A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SANTA FE SPRINGS REGARDING
DEVELOPMENT PLAN APPROVAL (DPA) CASE NO. 1017; AND
MODIFICATION PERMIT (MOD) CASE NO. 1375**

WHEREAS, a request was filed for DPA Case No. 1017 to construct one (1) new 24'- tall cooling tower, three (3) new wastewater tanks within a new 26'-8"- tall metal canopy structure, two (2) new 31'-2"- tall and four (4) new 19'-5"- tall metal tanks for the storage of milk, one (1) new glycol system with one (1) new 12'-2"- tall tank, one (1) new 14'- tall ammonia diffusion tank, one (1) new storage tank alcove structure, one (1) new metal canopy extension over tankers, new refrigeration equipment and foundational footings for three (3) future 20,000 gallon tanks under a separate permit; and

WHEREAS, a request was filed for MOD Case No. 1375 to partially screen the proposed tanks; and

WHEREAS, the subject property is located on the north side of Busch Place, at 12809 Busch Place, with Assessor Parcel Numbers of 8167-001-031, as shown in the latest rolls of the Los Angeles County Office of the Assessor; and

WHEREAS, the property owner is LBA NCC – Company XVL, LLC. 3347 Michelson Drive, Ste. 200, Irvine, CA 92612; and

WHEREAS, the applicant is Rick Ramirez, on behalf of LBA NCC – Company XVL, LLC.; and

WHEREAS, the proposed project, which includes DPA Case No. 1017 and MOD Case No. 1375, is considered a project as defined by the California Environmental Quality Act (CEQA), Article 20, Section 15378(a); and

WHEREAS, based on information provided by the applicant and staff's assessment, it was determined that the project will not have significant adverse effect on the environment, and therefore the project qualifies for a categorical exemption from CEQA, specifically under CEQA Guidelines Section 15303, Class 3 (New Construction or Conversion of Small Structures) and Section 15311, Class 11 (Accessory Structures); and

WHEREAS, the City of Santa Fe Springs Community Development Department on February 6, 2026 published a legal notice in the *Los Cerritos Community Newspaper*, a local newspaper of general circulation, indicating the date and time of the public hearing, and also mailed said public hearing notice on February 5, 2026 to each property owner within a 500-foot radius of the project site in accordance with state law; and

WHEREAS, the City of Santa Fe Springs Planning Commission has considered the application package, the written and oral staff report, the General Plan, and zoning of the subject property, the testimony, written comments, or other materials presented at the Planning Commission meeting on February 18, 2026, concerning DPA Case No. 1017 and MOD Case No. 1375.

NOW, THEREFORE, be it RESOLVED that the PLANNING COMMISSION of the CITY OF SANTA FE SPRINGS does hereby RESOLVE, DETERMINE, and ORDER AS FOLLOWS:

SECTION I. RECITALS

Based on staff presentations, testimony, and all other evidence presented to the Planning Commission during the noticed public hearing of this matter, the Planning Commission hereby finds and declares that the foregoing recitals are true and correct and expressly incorporates them as substantive findings into this Resolution.

SECTION II. ENVIRONMENTAL FINDINGS AND DETERMINATION

pursuant to Sections 15303, Class 3 (New Construction or Conversion of Small Structures) and Section 15311, Class 11 (Accessory Structures), of the California Environmental Quality Act (CEQA), the Planning Commission hereby finds and determines that the proposed project involves the construction and partial screening of six metal storage tanks, varying in height, for the storage of milk, one new cooling tower, three new wastewater treatment tanks within a new metal canopy, and additional building square footage, totaling approximately 3,274 square feet. Additionally, the proposed metal tanks are ancillary to the existing use and primary structures on-site. The use of the building and site will remain unchanged. Furthermore, the project site is not listed on the Hazardous Waste and Substance Site List (Cortese List) as set forth in Government Code Section 65962.5. Therefore, no additional environmental analysis is required under CEQA.

SECTION III. DEVELOPMENT PLAN APPROVAL FINDINGS

Pursuant to Section 155.739 of the City of Santa Fe Springs Zoning Code, the Planning Commission shall consider the following findings in its review and determination of the subject Development Plan Approval. Based on the available information, the City of Santa Fe Springs Planning Commission hereby makes the following findings:

- (A) *That the proposed development is in conformance with the overall objectives of this chapter.*

The proposed project is located within the M-2 (Heavy Manufacturing) Zone. Pursuant to Section 155.240 of the Zoning Code, "The purpose of the M-2 Zone is to preserve the lands of the city appropriate for heavy industrial uses, to protect

these lands from intrusion by dwellings and inharmonious commercial uses, to promote uniform and orderly industrial development, to create and protect property values, to foster an efficient, wholesome and aesthetically pleasant industrial district, to attract and encourage the location of desirable industrial plants, to provide an industrial environment which will be conducive to good employee relations and pride on the part of all citizens of the community and to provide proper safeguards and appropriate transition for surrounding land uses.”

The proposed project demonstrates consistency with the objectives of the M-2 Zone through the following points:

1. The proposed project demonstrates consistency with the objectives of the M-2 Zone primarily by reaffirming the site as a heavy industrial use that is appropriate for the zone.
2. The proposed metal tanks are sited appropriately at a location that is surrounded by other M-2 zone properties and provides appropriate safeguards from any sensitive land uses.
3. The proposed project is unlikely to negatively impact any existing or proposed industrial developments or to decrease property values.

(B) *That the architectural design of the proposed structures is such that it will enhance the general appearance of the area and be in harmony with the intent of this chapter.*

The proposed metal tanks will have a neutral design with a stainless-steel finish, and the additional building area is to be painted a white tone to match the existing building. Any additional changes to enhance the visual design of the tanks could compromise the safety of the stored milk or the structural integrity of the metal tanks. The applicant has proposed a location on the site that aligns with the chapter’s intent to enhance the general appearance of the area by minimizing the visual impact of the tanks from the public view.

(C) *That the proposed structures be considered on the basis of their suitability for their intended purpose and on the appropriate use of materials and on the principles of proportion and harmony of the various elements of the buildings or structures.*

The proposed metal tanks selected were selected based on their suitability to safely contain and store milk. They have been strategically placed around the new building alcove and within the canopy structure to help screen from public view. Additionally, the placement of the tanks will be in line, limiting the number of tanks seen from elevations. The location of the tanks ensures a considerable distance from public view, in which the tanks are fully out of line of sight from the public right-of-way on Busch Place. The setbacks and existing and proposed building areas will reduce the visual scale of the tanks.

- (D) That consideration be given to landscaping, fencing and other elements of the proposed development to ensure that the entire development is in harmony with the objectives of this chapter.

The applicant has carefully considered the location and design of the proposed tanks. Additionally, typical screening methods are not practical for this project due to the tanks' limited visibility from the public right-of-way. The proposed tanks have been strategically placed around the proposed alcove, which is setback 50'-5" from the northern property line and 156'-11" from the western property line, ensuring a considerable distance from public view. Furthermore, additional landscape screening is not practical for the site, though the existing landscaping along Busch Place will provide additional visual relief. As a result, the placement of the tanks with existing and new building screening is fully out of the line of sight from the public right-of-way on Busch Place, and is the most viable solution. As such, the overall project will be in harmony with the existing development and aligns with the objectives of this chapter.

- (E) That it is not the intent of this subchapter to require any particular style or type of architecture other than that necessary to harmonize with the general area.

The subject metal tanks will be a stainless steel finish to maintain a cohesive design with the site and surrounding area. The additional alcove and wastewater canopy will be finished with white stucco to match the existing building. As a result, the proposed improvements will blend with the existing building and the surrounding area.

- (F) That it is not the intent of this subchapter to interfere with architectural design except to the extent necessary to achieve the overall objectives of this chapter.

As evident from previous findings, there have been considerable discussions with the applicant regarding the placement and screening of the proposed metal tanks to ensure they blend with the existing building and surrounding area while minimizing any adverse effects on nearby properties. The Planning Commission believes the applicant has made a noteworthy effort to design and position tanks in a manner that would help minimize their view from the public right-of-way.

- (G) As a means of encouraging residential development projects to incorporate units affordable to extremely low income households and consistent with the city's housing element, the city will waive Planning Department entitlement fees for projects with a minimum of 10% extremely low income units. For purposes of this section, extremely low income households are households whose income does not exceed the extremely low-income limits applicable to Los Angeles County, as published and periodically updated by the state's Department of Housing and Community Development Pursuant Cal. Health and Safety Code § 50106.

The Planning Commission finds that the proposed project is not a residential

development; therefore, the requirements pertaining to low-income units do not apply.

SECTION IV: MODIFICATION PERMIT FINDINGS

Pursuant to Section 155.695 of the City of Santa Fe Springs Zoning Code, the Planning Commission shall consider the following findings in its review and determination of the subject Modification Permit. Based on the available information, the City of Santa Fe Springs Planning Commission hereby makes the following findings:

- A) *That the granting of the modification would not grant special privileges to the applicant not enjoyed by other property owners in the area.*

The Planning Commission would not be granting special privileges to the applicant since similar requests have been granted in the past. The chart provided below identifies similar Modification Permits granted for partial screening of storage equipment.

Previous Metal Tank Screening Modifications

Case No.	Site Address	Request	Date Approved
MOD 1366	8832 Dice Rd.	Screening Reduction	March 2025
MOD 1322	10747 Patterson Pl.	Screening Reduction	May 2020
MOD 1260	9051 Sorenson Ave.	Screening Reduction	February 2016
MOD 1259	10643 Norwalk Blvd.	Screening Reduction	February 2016

- B) *That the subject property cannot be used in a reasonable manner under the existing regulations.*

If the same volume of tanks were configured differently to allow for better screening (e.g., horizontal instead of vertical), the site would be unable to comply with required fire access requirements, provide the required number of parking stalls, and ensure proper proximity of the tanks to the building for proper operations. Requiring the applicant to fully comply with the screening regulations of the Zoning Code could result in unreasonable operational constraints, such as tanks encroaching on access lanes or designated parking areas.

- C) *That the hardship involved is due to unusual or unique circumstances.*

The property's unique location, adjacent to a railroad crossing, combined with the storage requirements for dairy products and structural requirements for storage tanks, limits the applicant's ability to further screen the proposed tanks from view. To minimize visual impacts, the tanks are proposed in the northwest corner of the site, which provides the least intrusive placement. Existing and proposed building areas will also fully screen the tanks from the public right-of-way on Busch Place.

While the proposed location and existing and proposed building areas provide significant screening, a portion of the tanks will remain visible on site. Additional screening, such as landscaping or structural coverings, is not feasible. Furthermore, tank manufacturers do not recommend attaching, welding, or affixing any structures or coverings to the tanks.

- D) *That the modifications, if granted, would not be detrimental to other persons or properties in the area nor be detrimental to the community in general.*

If approved, this modification would allow the proposed metal tanks to be constructed with partial screening. The tanks will not cause any negative impacts on neighboring properties or the community. Milk is a safe, non-reactive, and non-flammable substance that poses no health or safety risks when stored properly. The additional storage is intended to ensure a reliable supply and space for the supply of milk and dairy products and for anticipated business growth. Tanks are to be placed out of the line of sight from Busch Place with building screening. As the tanks align with the industrial character of the area and do not create significant visual impacts, the modification would not have any unreasonable effects on the surrounding environment.

In addition, pursuant to Section 155.696 of the City's Zoning Code, the Commission shall also take into consideration the following factors in making a determination as to whether or not there are practical difficulties or hardships involved:

- A) *That there are particular physical circumstances due to the shape or condition of the property which result in a hardship under the existing regulations, as distinguished from a mere inconvenience.*

The property's unique location, adjacent to a railroad crossing, combined with the storage requirements for dairy products, limits the applicant's ability to further screen the proposed tanks from view. To minimize visual impacts, the tanks are proposed in the northwest corner of the site, which provides the least intrusive placement. Existing and proposed building areas on the site will also screen the tanks from public view.

- B) *That the purpose of the modification is not based exclusively on the financial advantage to the owner.*

The modification is requested primarily because of safety reasons, not financial ones. While the proposed location and existing landscaping provide significant screening, a portion of the tanks will remain visible. Additional screening, such as landscaping or structural coverings, is not feasible due to safety concerns. The tanks are to be placed out of the line of sight from Busch Place. Furthermore, tank manufacturers advise against attaching, welding, or affixing any structures or coverings to the tanks, as this could compromise their integrity and safety.

- C) *That the alleged difficulties were not created by any person presently having an interest in the property.*

The requirements for the storage of dairy products and the use of metal tanks are not determined by the applicant but rather by regulatory and safety standards. The applicant has designed the proposed project to comply with regulations from the City's Community Development and Fire-Rescue Departments, industry standards for dairy product storage, and the manufacturing specifications of the selected metal tanks.

- D) *That the conditions involved are not generally applicable to most of the surrounding properties.*

The property is unique in that it must prioritize access and circulation for both people and vehicles around the proposed milk storage tanks and throughout the site. The site also has an existing rail spur that disrupts other alternative circulation patterns, further limiting placement options. As such, the applicant has few viable locations where they can locate the proposed metal tanks. The selected location is the best-suited spot to minimize the impact of the tanks on existing site operations.

- E) *That the requested modification would not diminish property values in the neighborhood.*

The site is located in a heavy industrial area surrounded by properties that also contain various forms of manufacturing. The proposed partially screened metal tanks have been strategically placed in the northwest corner of the site to minimize their visibility from public areas, with the tanks being out of the line of sight from Busch Place. Additionally, existing and proposed building areas on site will provide this visual relief. Given these factors, the project is not expected to negatively impact property values in the surrounding area.

- F) *That the requested modification will not increase congestion or endanger the public safety.*

The proposed modification does not remove any existing parking stalls and is expected to increase the need for additional employees. The additional building area will allow for proper pedestrian circulation around the tanks and site. Therefore, the proposed project will not impact traffic or contribute to congestion.

SECTION IV. PLANNING COMMISSION ACTION

The Planning Commission hereby adopts Resolution No. 313-2026, to find and determine that the proposed project is categorically exempt pursuant to the California

Environmental Quality Act (CEQA), Section 15303, Class 3 (New Construction or Conversion of Small Structures) and Section 15311, Class 11 (Accessory Structures); approve Development Plan Approval Case No. 1017; and Modification Permit Case No. 1375, subject to conditions attached hereto as Exhibit A.

ADOPTED and APPROVED this 18th day of February 2026 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE SPRINGS.

Gabriel Jimenez, Chairperson

ATTEST:

Esmeralda Elise, Planning Commission Secretary

Resolution No. 313-2026 – Attachments:
Exhibit A - Conditions of Approval

Exhibit A – Conditions of Approval
Development Plan Approval (DPA) Case No. 1017 &
Modification Permit (MOD) Case No. 1375

ENGINEERING / PUBLIC WORKS DEPARTMENT

(Contact: Alex Flores 562.868-0511 x 7507)

1. That the Applicant shall pay, and cause construction, for the removal and replacement of the existing westerly public driveway on Busch Pl per City Standard Plan No. R-6.4A. The applicant shall apply for and pay all associated fees for an Encroachment Permit from the Public Works Department, for all Offsite Improvements.
2. That the Applicant shall comply with the National Pollutant Discharge Elimination System (NPDES) program and shall require the general contractor to implement stormwater/urban runoff pollution prevention controls and Best Management Practices (BMPs) on all construction sites in accordance with the current MS4 Permit. The applicant will also submit a Certification for the project and prepare a Storm Water Pollution Prevention Plan (SWPPP), if required.

POLICE SERVICES DEPARTMENT:

(Contact: Kristen Haining 562.409.1850 x3302)

3. That the Applicant shall submit and obtain approval of a proposed security plan for the property from the City's Department of Police Services. The security plan shall be submitted to the Director of Police Services no later than sixty (60) days from the date of approval by the Planning Commission.
4. That the Applicant shall submit an Emergency Notification Form to the Department of Police Services no later than sixty (60) days from the date of approval by the Planning Commission.
5. That the Applicant and/or his employees shall not allow anyone to loiter on the subject premises and shall immediately report all instances to the Whittier Police Department. Applicant shall maintain a current Trespass Arrest Authorization form with the Whittier Police Department and Department of Police Services at all times. Applicant to properly maintain No Trespassing signs around the perimeter of the property.
6. That in order to facilitate the removal of unauthorized vehicles parked on the property, the Applicant shall post, in plain view and at each entry to the property, a sign not less than 17" wide by 22" long. The sign shall prohibit the public parking of unauthorized vehicles and indicate that unauthorized vehicles will be removed at the owner's expense and also contain the California Vehicle Code that permits this action. The sign shall also contain the telephone number of the local law enforcement agency (Whittier Police Department 562-567-9240). The lettering within the sign shall not be less than one inch in height. The Applicant shall contact the Police Services Center for an inspection no later than

thirty (30) days after the project has been completed and prior to the occupancy permit being issued.

7. That any proposed and existing building(s), including any lighting, fencing, walls, cabinets, and poles shall be maintained in good repair and free from any trash, debris, litter, graffiti, and any other forms of vandalism. Any damage sustained shall be repaired within 72-hours of occurrence, weather permitting, to minimize occurrences of dangerous conditions or visual blight. Ensure paint, utilized in covering graffiti, matches the existing color of the existing and/or adjacent surfaces
8. Parking facilities, including parking lot, parking stalls, and driveways, shall be properly maintained at all times. The paving on the site shall be maintained free of pot-holes or other similar damage. The Applicant shall make repairs within 72-hours of identifying any pavement deficiencies, wear, or deterioration. All parking markings (striping and directional arrows, etc.) shall be legible at all times. Should any markings become faded or illegible, Applicant must re-paint and/or repair accordingly. Ensure off-street parking areas are not reduced or encroached upon at any time.
9. Property must be properly maintained at all times. Applicant shall submit plans and obtain approval to build a trash enclosure onsite. Ensure trash enclosure is secured, and trash container lids are closed at all times. All trash must be disposed of in approved containers.
10. Maintain landscaping on the property at all times. Perform routine maintenance to ensure all landscaped areas are in compliance with SFSMC §155.549
11. All parking stalls and/or designated parking areas shall be continuously available to all employees customers, and visitors during normal business hours. Do not allow outdoor storage or staging of merchandise on any required parking stalls. All storage must be properly screened and out of public view at all times.
12. Trucks are not to block street traffic by queuing at any time; drivers and/or registered owners are subject to citations

WASTE MANAGEMENT:

(Contact: Joe Barrios 562.868-0511 x7342)

13. The applicant shall comply with Section 50.51 of the Municipal Code which prohibits any business or residents from contracting any solid waste disposal company that does not hold a current permit from the City.
14. All projects are subject to the requirements of Chapter 50 to reuse or recycle 75% of the project waste. For more information, please contact the City's Environmental Consultant, MuniEnvironmental at (562) 432-3700.

15. The applicant shall comply with Public Resource Code, Section 42900 et seq. (California Solid Waste Reuse and Recycling Access Act of 1991) as amended, which requires each development project to provide adequate storage area for the collection/storage and removal of recyclable and green waste materials.

WATER DEPARTMENT:

(Contact: Frank Sanchez 562.868-0511 x 3618)

16. That the applicant replaces existing water services to have a backflow device installed after the water meter, per SFSMC Chapter 53 standards.
17. That the applicant installs a new above ground DCDA for fire line, per SFSMC Chapter 53 standards.
18. That new water services are copper material and ran from the water main with backflow on each line, per SFSMC Chapter 53 standards.

COMMUNITY DEVELOPMENT DEPARTMENT:

(Contact: Alejandro De Loera 562.868-0511 x7358)

19. The development shall otherwise be substantially in accordance with the plot plan and elevations submitted by the applicant and on file with the case.
20. The final plot plan and elevations of the proposed development and all other appurtenant improvements, textures and color schemes shall be subject to the final approval of the Community Development Director.
21. All other requirements of the City's Zoning Code, Building Code, Property Maintenance Ordinance, State and City Fire Code and all other applicable County, State and Federal regulations and codes shall be complied with.
22. The applicant shall obtain all necessary Building Permits and related approvals from the Building, Community Development and Fire-Rescue Departments for the proposed improvements.
23. Applicant shall be responsible for reviewing and/or providing copies of the required conditions of approval to his/her architect, engineer, contractor, tenants, etc. Additionally, the conditions of approval contained herein, shall be made part of the construction drawings for the proposed development. *Construction drawings shall not be accepted for Plan Check without the conditions of approval incorporated into the construction drawings.*
24. All lighting, fences, walls, and tanks shall be maintained by the applicant in good repair, free from trash, debris, litter and graffiti and other forms of vandalism. Any damage from any cause shall be repaired within 24 hours of occurrence, weather permitting, to minimize occurrences of dangerous conditions or visual blight. Paint utilized in covering

graffiti shall be a color that matches, as closely possible, the color of the adjacent surfaces.

25. Applicant shall require and verify that all contractors and sub-contractors have successfully obtained a Business License with the City of Santa Fe Springs prior to beginning any work associated with the subject project. A late fee and penalty will be assessed to any contractor or sub-contractor that fails to obtain a Business License and a Building Permit final or Certificate of Occupancy will not be issued until all fees and penalties are paid in full. A business license application can be accessed online at <https://santafesprings.hdlgov.com>.
26. Prior to or otherwise concurrent with the issuance of Building Permits, the applicant shall obtain an Office Trailer Permit for the use of mobile office trailers during the construction process.
27. The applicant shall be responsible for ensuring that information contained in construction drawings and/or landscape & irrigation plans are consistent among architectural, structural, electrical, mechanical, plumbing, fire, utility and public improvement plans as well as other civil drawings. This responsibility may be transferred by the applicant to the project architect. While the City aims to correct inconsistencies, it is the ultimate responsibility of the applicant/project architect to remedy, up to and including completion of construction revisions prior to receiving final occupancy approvals.
28. Prior to issuance of building permits, the applicant shall comply with the following conditions to the satisfaction of the City of Santa Fe Springs:
 - a. Covenants.
 1. Applicant shall provide a written covenant to the Community Development Department that, except as owner/developer may have otherwise disclosed to the City, Commission, Planning Commission or their employees, in writing, owner/developer has investigated the environmental condition of the property and does not know, or have reasonable cause to believe, that (a) any crude oil, hazardous substances or hazardous wastes, as defined in state and federal law, have been released, as that term is defined in 42 U.S.C. Section 9601 (22), on, under or about the Property, or that (b) any material has been discharged on, under or about the Property that could affect the quality of ground or surface water on the Property within the meaning of the California Porter-Cologne Water Quality Act, as amended, Water Code Section 13000, et seq
 2. Applicant shall provide a written covenant to the City that, based on reasonable investigation and inquiry, to the best of applicant's knowledge, it does not know or have reasonable cause to believe that it is in violation of any notification, remediation or other requirements

of any federal, state or local agency having jurisdiction concerning the environmental conditions of the Property.

- b. Applicant understands and agrees that it is the responsibility of the applicant to investigate and remedy, pursuant to applicable federal, state and local law, any and all contamination on or under any land or structure affected by this approval and issuance of related building permits. The City, Commission, Planning Commission or their employees, by this approval and by issuing related building permits, in no way warrants that said land or structures are free from contamination or health hazards.
 - c. Applicant understands and agrees that any representations, actions or approvals by the City, Commission, Planning Commission or their employees do not indicate any representation that regulatory permits, approvals or requirements of any other federal, state or local agency have been obtained or satisfied by the applicant and, therefore, the City, Commission, Planning Commission or their employees do not release or waive any obligations the applicant may have to obtain all necessary regulatory permits and comply with all other federal, state or other local agency regulatory requirements. Applicant, not the City, Commission, Planning Commission or their employees will be responsible for any and all penalties, liabilities, response costs and expenses arising from any failure of the applicant to comply with such regulatory requirements.
29. No portion of the required off-street parking and driveway areas shall be used for outdoor storage of any type or for special-event activities, unless prior written approval is obtained from the Director of Community Development, Director of Police Services, and Fire Marshall.
30. A minimum of 104 off-street parking stalls shall be provided and continually maintained at all times.
31. Applicant shall comply with the City's "Heritage Artwork in Public Places Program" in conformance with City Ordinance No. 1054.
32. The applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or

concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. In addition, the applicant shall reimburse the City, its officials, officers, employees, agents, departments, agencies, for any Court costs and attorney's fees which the City, its agents, officers, or employees may be required by a court to pay as a result of such action. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any such claim, action or proceeding, and shall cooperate fully in the defense thereof.

33. That the applicant understands and agrees that this approval is subject to modification or revocation as set forth in the Santa Fe Springs Municipal Code. Grounds for modification or revocation include, but are not limited to, Applicant's failure to comply with any condition of approval contained herein.
34. That the applicant understands and agrees that if any term or condition of this approval is determined in whole or in part to be invalid or unenforceable, such determination shall not affect the validity or enforceability of any other term or condition contained herein.
35. Applicant understands if changes to the original plans (submitted and on file with the subject case) are required during construction, revised plans must be provided to the planning department for review and approval prior to the implementation of such changes. Please note that certain changes may also require approvals from other departments.
36. If there is evidence that these conditions of approval have not been fulfilled or the use has or have resulted in a substantial adverse effect on the health, and/or general welfare of users of adjacent or proximate property, or have a substantial adverse impact on public facilities or services, the Community Development Director may refer the DPA and/or MOD back to the Planning Commission for review. If upon such review, the Commission finds that any of the results above have occurred, the Commission may modify or revoke the DPA and/or MOD

DEPARTMENT OF FIRE - RESCUE (ENVIRONMENTAL DIVISION)
(Contact: Eric Scott 562.868-0511 x3812)

37. Permits and approvals. That the applicant shall, at its own expense, secure or cause to be secured any and all permits or other approvals which may be required by the City and any other governmental agency prior to conducting environmental assessment or remediation on the property. Permits shall be secured prior to beginning work related to the permitted activity.
38. That the applicant shall comply with all Federal, State and local requirements and regulations included, but not limited to, the Santa Fe Springs City Municipal Code,

California Fire Code, Certified Unified Program Agency (CUPA) programs, the Air Quality Management District's Rules and Regulations and all other applicable codes and regulations.

39. That the applicant shall submit plumbing plans to the Santa Fe Springs Department of Fire-Rescue Environmental Protection Division (EPD) and, if necessary, obtain an Industrial Wastewater Discharge Permit Application for generating, storing, treating or discharging any industrial wastewater to the sanitary sewer.
40. That the applicant shall complete and submit the Chemical Hazard Classification & Occupancy Rating package to the EPD prior to storing new or increasing existing amounts of hazardous materials on the property. The building occupancy rating, based on the information provided, will be designated by the Building Department.
41. That the applicant shall obtain an Industrial General Storm Water Permit from the State Water Resources Control Board through the Storm Water Multiple Application and Report Tracking System (SMARTS) located at <https://smarts.waterboards.ca.gov>.
42. That the Applicant shall provide secondary containment for all in-use tanks, drums, tote bins, piping, pumps and related storage and in-use vessels. Containment shall be provided for all hazardous and industrial-grade liquids. Drainage shall be to an approved location.
43. That the Applicant shall provide high-level alarms and automatic shut-off devices on all tanks that exceed 500 gallons. Alarms shall sound at 90 percent capacity, and shut-off devices shall initiate at 95 percent tank capacity
44. That all tanks shall be seismically anchored in accordance with the Uniform Building Code.
45. That the Applicant shall design a gas detection system that includes gas sensors in critical operational areas which will provide early detection of gas releases. The system shall include sensors for ammonia. The location of the sensors shall be approved by the Fire Marshall. The sensors shall be connected to an approved central alarm monitoring station.
46. That the Applicant installs and maintains windsocks and placards as required.
47. That the Applicant label piping conveying hazardous materials noting their contents and direction of flow.



CITY OF SANTA FE SPRINGS

PLANNING COMMISSION AGENDA STAFF REPORT

TO: Members of the Planning Commission

FROM: Cuong Nguyen, Director of Community Development

BY: Vince Velasco, Assistant Director of Community Development

SUBJECT: PUBLIC HEARING – TO CONSIDER A PROPOSED ZONING CODE AMENDMENT TO AMEND SECTIONS 155.123 (CONDITIONAL USES), 155.153 (CONDITIONAL USES), 155.175.2 (USES), 155.183 (CONDITIONAL USES), 155.213 (CONDITIONAL USES), 155.243 (CONDITIONAL USES), AND ADD SECTION 155.725 (CONDITIONAL USE PERMIT FOR TRUCK, TRAILER, CHASSIS OR CONTAINER STORAGE) WITHIN TITLE 15, CHAPTER 155, OF THE SANTA FE SPRINGS MUNICIPAL CODE AND DETERMINATION THAT THE PROJECT IS EXEMPT FROM CEQA

DATE: February 18, 2025

RECOMMENDATION(S)

It is recommended that the Planning Commission:

- 1) Open the Public Hearing and receive the written and oral staff report and any comments from the public regarding the proposed Zoning Code Amendment; and
- 2) Find and determine that this Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3); and
- 3) Find and determine that the proposed Zoning Code Amendment is consistent with the goals, policies, and programs of the City's General Plan; and
- 4) Adopt Resolution No. 314-2026, incorporating the Planning Commission's findings and actions regarding this matter and recommending that the City Council approve and adopt an ordinance to effectuate the proposed amendments to the text of the City's Zoning Code; and

- 5) Take such additional, related action that may be desirable.

FISCAL IMPACT

Adoption of the proposed Zoning Code Amendment will not have a direct fiscal impact. The amendment establishes a regulatory framework that may allow property owners to generate interim revenue on vacant entitled sites, which may support property maintenance, remediation, and future development readiness.

BACKGROUND/DISCUSSION

The City of Santa Fe Springs contains properties that have received zoning approvals, land use entitlements, or other discretionary approvals for future development but remain vacant for extended periods due to market conditions, financing, or the need to complete additional regulatory processes. Extended vacancy can contribute to nuisance conditions, illegal dumping, and visual blight.

The proposed Zoning Code Amendment establishes a mechanism to allow regulated interim storage of trucks, trailers, chassis, and shipping containers on such properties through approval of a Conditional Use Permit (CUP). The City finds that, when properly screened and regulated, this type of interim use can be compatible with industrial and mixed-use areas while reducing adverse impacts associated with vacant lots and helping property owners support site upkeep and environmental remediation efforts.

The amendment would:

- Add Section 155.725 establishing a Conditional Use Permit process and operating standards for truck, trailer, chassis, and container storage.
- Allow this interim use in the C-1, C-4, M-1, M-2, ML, MU, MU-DT, and MU-TOD zones, subject to CUP approval.
- Require that the site be undeveloped and have received, or be concurrently receiving, development plan approval for future development.
- Prohibit washing, repair, or habitation of vehicles or containers on site.
- Require perimeter fencing, controlled access, security measures, and compliance with all applicable regulations.
- Limit permits to an initial term not to exceed two years, with limited extension eligibility.
- Establish application materials, operational standards, findings, and revocation provisions.

Corresponding amendments to Sections 155.123, 155.153, 155.175.2, 155.183, 155.213, and 155.243, incorporate this use into the City's use tables and conditional use listings, referencing the new regulatory section (155.725).

ANALYSIS

The proposed Zoning Code Amendment is consistent with the Santa Fe Springs 2040 General Plan, particularly the following Land Use policies:

- Policy LU-1.2 – *Economic Diversity*, by supporting continued economic activity and interim revenue-generating uses on entitled properties awaiting development.
- Policy LU-3.4 – *Repurpose Petroleum Production Lands*, by helping property owners maintain and prepare sites transitioning from prior industrial uses.
- Policy LU-4.7 – *Adaptive Reuse and Redevelopment*, by providing a temporary use option that reduces blight and supports timely redevelopment.

The CUP process ensures that each site is reviewed on a case-by-case basis, with the Planning Commission retaining discretion to impose conditions necessary to protect public health, safety, and welfare. The standards regarding screening, security, operational limits, and duration ensure the use remains temporary and does not conflict with long-term planning goals.

ENVIRONMENTAL

The Zoning Code Amendment is exempt from CEQA pursuant to CEQA Guidelines Section 15061(b)(3) (Common Sense Exemption), as the ordinance does not approve specific development or construction and it can be seen with certainty that there is no possibility that adoption of the text amendment itself may have a significant effect on the environment. Any future project would be subject to separate environmental review, as applicable.

DISCUSSION

The proposed Zoning Code Amendment addresses vacant properties that have received, or are pursuing, development approvals but remain undeveloped due to market conditions, financing, environmental review, or construction timing. Extended vacancy can contribute to illegal dumping, nuisance activity, and visual blight.

The amendment establishes a regulated interim use allowing truck, trailer, chassis, and container storage on eligible sites through approval of a Conditional Use Permit (CUP). The intent is to provide a temporary and controlled use that activates vacant land, supports site maintenance and potential remediation efforts, and reduces nuisance conditions — without altering the City's long-term land use vision.

The ordinance includes safeguards to ensure the use remains temporary and compatible, including time limits, operational restrictions, security requirements, case-by-case

Planning Commission review, and clear revocation provisions. These standards ensure interim storage remains subordinate to future development and consistent with the City’s long-term planning goals.

SUMMARY/NEXT STEPS

The proposed Zoning Code Amendment establishes a clear and enforceable process for the temporary storage of trucks, trailers, chassis, and containers on certain vacant entitled properties, subject to Conditional Use Permit approval and operational standards. The amendment is consistent with the Santa Fe Springs 2040 General Plan and is exempt from CEQA under the Common Sense Exemption.

Following the Planning Commission’s action:

- If the Planning Commission recommends approval, the proposed ordinance and Planning Commission Resolution will be forwarded to the City Council for consideration at a duly noticed public hearing.
- The City Council will consider the Planning Commission’s recommendation, the staff report, public testimony, and the proposed ordinance.
- If adopted by the City Council, the ordinance will establish Section 155.725 and amend the relevant use tables and conditional use sections of the Zoning Code, after which individual property owners may apply for a CUP consistent with the new regulations.

This action does not approve any specific project, but rather establishes the regulatory framework under which future site-specific applications may be evaluated.

ATTACHMENT(S):

1. Attachment A – Planning Commission Resolution No. 314-2026
 - a. Exhibit A – Zone Text Amendments to Chapter 155 (Zoning) of Title 15 (Land Use) of the Santa Fe Springs Municipal Code
2. Attachment B – Proposed Ordinance No.1167

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>

ATTACHMENT A –
PLANNING COMMISSION RESOLUTION NO. 314-2026

CITY OF SANTA FE SPRINGS
RESOLUTION NO. 314-2026

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA FE SPRINGS RECOMMENDING THAT THE CITY COUNCIL APPROVE ORDINANCE 1167 AMENDING SECTIONS 155.123 (CONDITIONAL USES), 155.153 (CONDITIONAL USES), 155.175.2 (USES), 155.183 (CONDITIONAL USES), 155.213 (CONDITIONAL USES), 155.243 (CONDITIONAL USES), AND ADD SECTION 155.725 (CONDITIONAL USE PERMIT FOR TRUCK, TRAILER, CHASSIS OR CONTAINER STORAGE) WITHIN TITLE 15, CHAPTER 155, OF THE SANTA FE SPRINGS MUNICIPAL CODE

WHEREAS, pursuant to California Constitution Article XI, Section 7 the City of Santa Fe Springs (the "City") has the authority to enact local planning and land use regulations to protect the public health, safety, and welfare of their residents through its police power; and

WHEREAS, the City has prepared a Zone Text Amendment to the City's Zoning Ordinance, as codified in Title 15 (Land Use), Chapter 155 (Zoning) of the Santa Fe Springs Municipal Code, which amends Sections 155.123 (Conditional Uses), 155.153 (Conditional Uses), 155.175.2 (Uses), 155.183 (Conditional Uses), 155.213 (Conditional Uses), 155.243 (Conditional Uses), and adds Section 155.725 (Conditional Use Permit for Truck, Trailer, Chassis or Container Storage); and

WHEREAS, certain properties with the City have received, or are in the process of receiving zoning approvals or land use entitlements for future development, yet remain vacant for extended periods of time due to financing, market conditions, and the need to complete required municipal processes and approvals; and

WHEREAS, prolonged vacancy of entitled properties may contribute to blight, nuisance, and illegal dumping, and the City finds that allowing carefully regulated interim uses on such properties may assist property owners in generating temporary revenue while reducing adverse impacts associated with vacant and underutilized lots and facilitating future development consistent with the City's goals; and

WHEREAS, on January 23, 2026 the City's Department of Planning and Development published a legal notice in the *Los Cerritos Community News*, a local paper of general circulation, indicating the date and time of the public hearing for the Planning Commission. A public hearing notice was also posted in the Santa Fe Springs City Hall window, the City's Town Center kiosk, and the Santa Fe Springs Library; and

WHEREAS, the City's Planning Commission has reviewed and considered the written and oral staff report, all written and spoken testimony, and other materials

presented at the duly noticed public hearing on February 18, 2026, concerning amendments to the text of the City's Zoning regulations.

NOW, THEREFORE, BE IT RESOLVED THAT THE PLANNING COMMISSION OF THE CITY OF SANTA FE SPRINGS DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:

SECTION I. The Planning Commission recommends that the following findings can be made by the City Council regarding the Zone Text Amendment:

1. The above recitals are true and correct and are incorporated herein.
2. The Exhibits attached to this Resolution are each incorporated and made a part of this Resolution.
3. That this Resolution constitutes the required written recommendation to the City Council in accordance with Government Code Section 65855 and hereby transmits this recommendation to the City Council for consideration.
4. That pursuant to due notice as required by law, a full and fair public hearing was held by and before this Planning Commission at a meeting on February 18, 2026, at which time, all interested persons were given a full opportunity to be heard and to present evidence.
5. The proposed Ordinance is consistent with the following Santa Fe Springs General Plan Goals and Policies:
 - a. Policy LU-1.2: Economic Diversity. Support a diversified economy with a balance of small and large businesses across a broad range of industries that provide employment, commercial, and experiential opportunities.
 - b. Policy LU-3.4: Repurpose Petroleum Production Lands. Encourage the remediation and development of properties transitioning from petroleum production.
 - c. Policy LU-4.7: Adaptive Reuse and Redevelopment. Collaborate with business owners and landowners with underinvested properties to support adaptive reuse and redevelopment.

Overall, the proposed Ordinance is consistent with the Santa Fe Springs General Plan Goals and Policies in that it supports continued economic activity by allowing interim revenue generating uses on entitled properties awaiting development. In doing so, it fosters collaboration with businesses and landowners, encourages the

productive use of underutilized land, and advances the City's broader revitalization and redevelopment objectives.

SECTION II. ENVIRONMENTAL FINDINGS AND DETERMINATION

The Ordinance is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15051 (b)(3), under the "Common Sense" exemption, because the Ordinance does not approve any development or construction and any future projects would be subject to future CEQA reviews therefore no further action is required under CEQA.

SECTION III. PLANNING COMMISSION ACTION

The Planning Commission hereby adopts Resolution No. 314-2026 recommending that the City Council determine that the Ordinance is exempt pursuant to CEQA Guidelines, Section 15061(b)(3), and adopt an ordinance amending the Zoning Code as set forth in Exhibit A attached hereto and incorporated by reference.

ADOPTED and APPROVED this 18th day of February 2026 by the PLANNING COMMISSION OF THE CITY OF SANTA FE SPRINGS.

Gabriel Jimenez, Chairperson

ATTEST:

Esmeralda Elise, Planning Commission Secretary

Exhibit A – Amendments to Chapter 155 (Zoning) of Title 15 (Land Use) of the Code of Santa Fe Springs

Exhibit A – Zone Text Amendments

Key:

Normal Text= Existing unmodified Code language

~~Strikethrough Text~~= Proposed language to be removed from existing Code

Underline Text = Proposed language to be added to Code

Code of Ordinances of the City of Santa Fe Springs Chapter 700 Section 700.381
CONDITIONAL USE PERMIT FOR TRUCK, TRAILER, CHASSIS OR CONTAINER STORAGE is
hereby added as follows:

§155.725 CONDITIONAL USE PERMIT FOR THE STORAGE OF TRUCKS, TRAILERS, CHASSIS OR CONTAINERS

A Conditional Use Permit (CUP) may be obtained for the storage of trucks, trailers, chassis or containers, as defined in § 155.003, in the C-1, C-4, M-L, M-1, M-2, MU, MU-DT, and MU-TOD zones in accordance with the requirements of this section.

(A) Required Site Characteristics

- (1) The subject site shall have received a development plan approval and a development agreement has been entered into or shall have received a development plan approval concurrently with the approval of a development agreement for the future development of subject site concurrently with the approval of a CUP pursuant to this Section.
- (2) The subject site, or a portion thereof, used for storage of trucks, trailers, chassis, or containers shall be undeveloped.

(B) Standard Conditions of Approval. In addition to any other conditions of approval set forth in the CUP, the following conditions shall apply to all permits granted pursuant to this section. Nothing in this section is intended to limit the City's authority to conditionally approve an application for a CUP or renewal thereof to protect and promote the public welfare, health and safety. The Planning Commission shall have discretion to modify or amend these conditions on a case-by-case basis as may be necessary or appropriate under the circumstances:

- (1) The permit shall be limited to a period of not more than two years, unless an extension is granted by the Planning Commission as set forth in this section.

- (2) The development agreement shall be executed and entered into prior to the issuance of the first building permit. For purposes of this section, building permit shall mean demolition, grading, or building permit.
- (3) The use shall operate in such a manner as to not be detrimental to property or improvements in the surrounding area or to the public health, safety, or general welfare.
- (4) The truck, trailer, chassis or container storage use shall fully comply with all applicable building, fire, and other state and local laws.
- (5) Washing or repairing of trucks, trailers, chassis or other containers is strictly prohibited at all times.
- (6) Sleeping, living, or otherwise occupying any truck, trailer, chassis, or container while parked or stored on the subject site shall be strictly prohibited at all times.
- (7) Trucks, trailers, chassis, and/or containers shall not be located within the required setback areas for the underlying zoning district.
- (8) Maximum Capacity. The total number of trucks, trailers, chassis or containers shall be determined on a case-by-case basis, based on site size.
- (9) Security. The site shall be secured with controlled access gates and perimeter fencing. Gates shall remain closed when the site is not in operation.
- (10) Perimeter fencing. A minimum six-foot fence shall be installed and maintained along all property lines of the subject site.

(C) Application Filing, Fees and Process

- (1) Application and Contents. Any person seeking a conditional use permit pursuant to this section, shall as part of their application, provide the following information:
 - a. Name of applicant.
 - b. Address of subject site.
 - c. Description of all activities involved, including but not limited to, the number and type of truck, trailers, chassis, or container to be stored and any items that will be stored with them and hours in which the subject site will be utilized for the proposed use.
 - d. Duration of proposed activities.
 - e. A site plan accurately drawn to scale depicting vehicular access and queuing, fire lanes, perimeter fencing, and storage areas. Site plans

must comply with all applicable stormwater run-off and NPDES requirements.

- f. Approved zoning land use approvals or entitlements for the future development of subject site, including but not limited to a development plan approval, shall have been granted within the last 24 months or shall concurrently submitted with the request for truck, trailer, or container storage use pursuant to this section.
 - g. A security or safety plan for the proposed use.
 - h. A site maintenance and operations plan for ongoing property cleaning, dust mitigation, and litter control.
- (2) Filing Fee. By resolution, the City Council shall establish and from time to time adjust a schedule of fees for the issuance of a Conditional Use Permit pursuant to this section. Fees shall be calculated so as to recover the cost of administration and enforcement of this section, including but not limited to, issuing a Conditional Use Permit, and administering this Conditional Use Permit program.
- (3) Findings. The approval of the Conditional Use Permit for the storage of trucks, trailers, chassis, or containers may be granted by the Planning Commission, only if all of the following findings can be made:
- (a) The operation of the requested conditional use at the subject site would not be detrimental to the harmonious and orderly growth of the City, nor endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare;
 - (b) The subject site is adequate in size and shape to accommodate the temporary use without material detriment to the use and enjoyment of other properties located adjacent to and in the vicinity of the lot;
 - (c) The subject site is adequately served by the streets or highways having sufficient width and improvements to accommodate the kind and quantity of traffic that the temporary use would or could reasonably be expected to generate; and
 - (d) The use is consistent with all applicable provisions of the General Plan, any applicable specific plan, this Code and other City regulations; and
 - (e) Adequate temporary parking to accommodate vehicular traffic to be generated by the use would be available on-site.

(4) Decision;

- (a) A letter setting forth the Planning Commissions action granting or denying the conditional use permit shall be mailed to the applicant pursuant to §155.719.

(5) Appeal.of.Decision.

- (a) An appeal of the decision made by the Planning Commission shall be made in writing and filed with the City Clerk.
- (b) Said appeal must be received within 14 days from the date of the decision pursuant to §155.865. The filing of an appeal within the prescribed time limit shall have the effect of staying the effective date of the Commission's action until such time as the City Council has acted on the appeal.
- (c) Each appeal shall be considered de novo (new) and the City Council, as the hearing body, may reverse, modify or affirm the decision in regard to the entire project in whole or in part. In taking its action on an appeal, the City Council shall state the basis for its action. The City Council may approve (in full or in part), conditionally approve (in full or in part), and may modify , delete, or add such conditions as it deems necessary. The City Council may also refer the matter back to the Planning Commission for further action.

(D) Extension of Conditional Use Permit

- (1) The holder of a conditional use permit pursuant to this Section may file an application with the Planning Commission Secretary to request a twelve-month extension. The applicant shall submit the request for such extension at least 90 days but no more than 180 days prior to the expiration of the permit.
- (2) The conditional use permit may be extended for no more than one twelve-month period beyond the term of the original approval.
- (3) The Planning Commission may grant the extension if it finds:
- (a) That there have been no changes in the conditions or circumstances of the subject site or operations that would have been grounds for denial of the original permit application; and
- (b) That the applicant is in compliance with all permit terms and conditions, and all local, state, and federal laws.

(E) Abandonment and Violation

- (1) A conditional use permit granted pursuant to this Section which is , or has been unused, abandoned or discontinued for a period of twelve months, shall become null and void. The abandonment or nonuse of the permit for a period of twelve consecutive months shall terminate said permit and any privileges granted thereunder shall become null and void.
- (2) Violation of any term or condition of the permit, or any local, state, or federal law, is cause for the permit to be revoked pursuant to section 155.811, et seq of this code.

Code.of.Ordinances.of.the.City.of.Santa.Fe.Springs.Chapter.7~~00~~Section.7~~00~~789.
CONDITIONAL.USES.is.hereby.amended.to.read.as.follows;

§155.123 CONDITIONAL USES.

(K) Truck, Trailer, Chassis, or Container Storage, subject to the regulation set forth in § 155.725.

Code.of.Ordinances.of.the.City.of.Santa.Fe.Springs.Chapter.7~~00~~Section.7~~00~~7~~89~~.
CONDITIONAL.USES.is.hereby.amended.to.read.as.follows;

§155.153 CONDITIONAL USES.

(MM) Truck, Trailer, Chassis, or Container Storage, subject to the regulation set forth in § 155.725.

Code.of.Ordinances.of.the.City.of.Santa.Fe.Springs.Chapter.7~~00~~Section.7~~00~~7~~89~~8.USES.is.
hereby.amended.to.include.the.following.new.line.item.in.Table.7;Mixed_Use.Allowed.Uses.
and.Permit.Requirements.as.follows;

<u>Truck, Trailer, Chassis or Container Storage subject to the regulations set forth in § 155.725</u>	<u>CUP</u>	<u>CUP</u>	<u>CUP</u>	<u>Subject to regulations in §155.725</u>
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Code.of.Ordinances.of.the.City.of.Santa.Fe.Springs.Chapter.7~~00~~Section.7~~00~~7~~49~~.
CONDITIONAL.USES.is.hereby.amended.to.read.as.follows;

§155.183 CONDITIONAL USES.

(J) Truck, Trailer, Chassis, or Container Storage, subject to the regulation set forth in § 155.725.

Code of Ordinances of the City of Santa Fe Springs Chapter 700 Section 700.879.
CONDITIONAL USES is hereby amended to read as follows;

§155.213 CONDITIONAL USES.

(Z) Truck, Trailer, Chassis, or Container Storage, subject to the regulation set forth in § 155.725.

Code of Ordinances of the City of Santa Fe Springs Chapter 700 Section 700.809.
CONDITIONAL USES is hereby amended to include the following permitted use;

§155.243 CONDITIONAL USES.

(P) Truck, Trailer, Chassis, or Container Storage, subject to the regulation set forth in § 155.725.

ATTACHMENT B –
PROPOSED ORDINANCE NO.1167

ORDINANCE NO. 1167

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTA FE SPRINGS ADOPTING A ZONE TEXT AMENDMENT TO AMEND SECTIONS 155.123 (CONDITIONAL USES), 155.153 (CONDITIONAL USES), 155.175.2 (USES), 155.183 (CONDITIONAL USES), 155.213 (CONDITIONAL USES), 155.243 (CONDITIONAL USES), AND ADD SECTION 155.725 (CONDITIONAL USE PERMIT FOR TRUCK, TRAILER, CHASSIS OR CONTAINER STORAGE) WITHIN TITLE 15, CHAPTER 155, OF THE SANTA FE SPRINGS MUNICIPAL CODE

WHEREAS, pursuant to California Constitution Article XI, Section 7, the City of Santa Fe Springs (the "City"), a general law city, has the authority to enact local planning and land use regulations to protect the public health, safety, and welfare of their residents through its police power; and

WHEREAS, the City's General Plan and Zoning Code establish land use designations and development standards intended to promote orderly development, economic vitality, and compatible land uses throughout the City; and

WHEREAS, certain properties within the City have received, or are in the process of receiving zoning approvals, land use entitlements, or other discretionary approvals for future development; and

WHEREAS, such properties may remain vacant for extended periods of time prior to commencement of development due to financing, market conditions, and the need to complete required municipal processes and approvals; and

WHEREAS, prolonged vacancy of entitled properties may contribute to blight, nuisance conditions, and illegal dumping; and

WHEREAS, the City finds that allowing regulated interim uses on vacant entitled properties may assist property owners in generating interim revenue while preparing for future development and also reduce the adverse impacts associated with vacant and unused lots in the City; and

WHEREAS, the City further finds that such interim revenue may support required environmental assessment, cleanup, and remediation efforts; and

WHEREAS, the City has prepared a Zone Text Amendment to the City's Zoning Ordinance, as codified in Title 15 (Land Use), Chapter 155 (Zoning) of the Santa Fe Springs Municipal Code, which amends Sections 155.172 (Uses), 155.213 (Conditional Uses), 155.243 (Conditional Uses), 155.183 (Conditional Uses), 155.123 (Conditional Uses), 155.153 (Conditional Uses) and adds Section 155.725 (Conditional Use Permit for Truck, Trailer Chassis or Container Storage); and

WHEREAS, the City finds that the temporary storage of trucks, chassis, and shipping containers, when appropriately screened and regulated, can be compatible with surrounding uses and may reduce adverse impacts of vacant and unused lots; and

WHEREAS, the purpose of the Ordinance is to allow for the temporary storage of trucks, chassis, and containers on already entitled properties through approval of a Conditional Use Permit, thereby allowing the City to evaluate site-specific conditions and impose operational and development standards; and

WHEREAS, on January 23, 2026, the City of Santa Fe Springs Department of Planning and Development published a legal notice in the *Los Cerritos Community News*, a local paper of general circulation, indicating the date and time of the public hearing for the Planning Commission. A public hearing notice was also posted in the Santa Fe Springs City Hall Window, the City's Town Center kiosk, and Santa Fe Springs Library; and

WHEREAS, pursuant to Government Code Section 65854, the Planning Commission conducted a duly noticed public hearing on this matter on February 18, 2026, wherein the Planning Commission considered all public comments received before and during the public hearing, the presentation by City staff, the relevant staff report, and all other pertinent documents regarding proposed Ordinance 1167; and

WHEREAS, at the close of the public hearing, the Planning Commission voted to recommend approval of the proposed ordinance by a ___-___-___ vote; and

WHEREAS, on _____, 2026, the City Council held a duly noticed public hearing regarding the proposed Ordinance, considered all public comments received before and during the public hearing, the presentation by City Staff, the relevant staff report inclusive of the Planning Commission's recommendation, and all other pertinent documents regarding the proposed Ordinance; and

WHEREAS, the proposed Ordinance is consistent with the City's General Plan, including Land Use Policy 1.2, in that it supports continued economic activity by allowing interim revenue generating uses on entitled properties awaiting development; and

WHEREAS, the Ordinance is further consistent with the City's General Plan, including Land Use Policy 4.7, because it provides a temporary use option for underutilized or vacant properties thereby promoting adaptive reuse and timely redevelopment; and

WHEREAS, the City Council desires to establish a clear regulatory framework that allows property owners with approved or pending land use entitlements to utilize vacant sites for the storage of trucks, trailer chassis, and/or containers, while preserving the City's long-term planning goals and encouraging the timely development of the land.

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF SANTA FE SPRINGS DOES HEREBY FIND, DETERMINE AND ORDAIN AS FOLLOWS:

SECTION I. Findings:

1. The above recitals are true and correct and are a substantial part of this Ordinance.
2. That the facts in this matter are as stated in the staff report regarding the proposed amendments to the text of the City's Zoning Ordinance.
3. The Exhibits attached to this Ordinance are each incorporated by reference and made a part of this Ordinance.
4. The proposed Ordinance is consistent with the following Santa Fe Springs General Plan Goals and Policies:
 - a. Policy LU-1.2: Economic Diversity. Support a diversified economy with a balance of small and large businesses across a broad range of industries that provide employment, commercial, and experiential opportunities.
 - b. Policy LU-3.4: Repurpose Petroleum Production Lands. Encourage the remediation and development of properties transitioning from petroleum production.
 - c. Policy LU-4.7: Adaptive Reuse and Redevelopment. Collaborate with business owners and landowners with underinvested properties to support adaptive reuse and redevelopment.
5. The Ordinance meets the requirements as contained in State Planning and Zoning Law (Government Code § 65800 *et seq.*)
6. The Ordinance has been prepared and will be adopted in accordance with the requirements of State Planning and Zoning Law

SECTION II. Amendments:

1. Code of Ordinances of the City of Santa Fe Springs Chapter 155, Section 155.123 CONDITIONAL USES is hereby amended as provided in Exhibit "A" attached hereto and incorporated by reference.
2. Code of Ordinances of the City of Santa Fe Springs Chapter 155, Section 155.153 CONDITIONAL USES is hereby amended as provided in Exhibit "A" attached hereto and incorporated by reference.
3. Code of Ordinances of the City of Santa Fe Springs Chapter 155, Section 155.725 CONDITIONAL USE PERMIT FOR TRUCK, TRAILER CHASSIS OR

CONTAINER STORAGE is hereby amended as provided in Exhibit "A" attached hereto and incorporated herein by reference.

4. Code of Ordinances of the City of Santa Fe Springs Chapter 155, Section 155.175.2 USES is hereby amended as provided in Exhibit "A" attached hereto and incorporated by reference.
5. Code of Ordinances of the City of Santa Fe Springs Chapter 155, Section 155.183 CONDITIONAL USES is hereby amended as provided in Exhibit "A" attached hereto and incorporated by reference.
6. Code of Ordinances of the City of Santa Fe Springs Chapter 155, Section 155.213 CONDITIONAL USES is hereby amended as provided in Exhibit "A" attached hereto and incorporated by reference.
7. Code of Ordinances of the City of Santa Fe Springs Chapter 155, Section 155.243 CONDITIONAL USES is hereby amended as provided in Exhibit "A" attached hereto and incorporated by reference.

SECTION III. Environmental Findings and Determination:

This Ordinance is exempt from California Environmental Quality Act (CEQA) under Section 15061(b)(3), under the "Common Sense" exemption, because the Ordinance does not approve any development or construction and any future project would be subject to future CEQA reviews therefore no further action is required under CEQA.

SECTION IV. If any section, subsection, subdivision, paragraph, sentence, clause or phrase in this Ordinance, or any part thereof, is held invalid or unconstitutional, such decision shall not affect the validity of the remaining section or portions of this Ordinance or of Chapter 155, or any part thereof. The City Council hereby declares that it would have adopted each section, subsection, subdivision, paragraph, sentence, clause or phrase in this Ordinance irrespective of the fact that any one or more sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases may be declared invalid or unconstitutional.

Section V. The City Clerk shall certify to the adoption of this Ordinance and shall cause the same to be posted in at least three (3) public places in the City, such posting to be completed not later than fifteen (15) days after passage thereof.

PASSED AND ADOPTED this _____, 2026 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Jose Angel Zamora, Mayor

ATTEST:

Maribel Garcia, City Clerk